



**Agenda Regular Meeting of the Planning
Commission
September 3, 2026 at 6:00 PM
Council Chambers, City Hall
200 Lincoln Avenue**

Procedures for Planning Commission Meeting

Viewing: Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel at <https://www.youtube.com/user/cityofsantafe>. The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

Live Public Comment: Members of the public may provide public comment in person during the public comment portion of the public hearing.

Virtual Public Comment: Members of the public may provide public comment virtually during the public comment portion of the public hearing by joining the Zoom meeting by internet or phone using the following link: <https://santafenm-gov.zoom.us/j/85309915775>

By phone: +1 253 215 8782 US (Tacoma) +1 346 248 7799 US (Houston) +1 669 444 9171 US +1 669 900 6833 US (San Jose) +1 719 359 4580 US +1 253 205 0468 US +1 360 209 5623 US +1 386 347 5053 US +1 507 473 4847 US +1 564 217 2000 US +1 646 931 3860 US +1 689 278 1000 US +1 929 205 6099 US (New York) +1 301 715 8592 US (Washington DC) +1 305 224 1968 US +1 309 205 3325 US +1 312 626 6799 US (Chicago)

Webinar ID: 853 0991 5775

Written Comment: Members of the public may submit public comments by 5 p.m. on the Monday before the meeting via: <https://santafenm.gov/land-use/current-planning/public-comment>.

Comments will then be published after this deadline. The agenda and packet for the meeting will be posted at <https://santafenm.portal.civicclerk.com/>

1. Call to Order
2. Pledge of Allegiance
3. Roll Call

4. Approval of Agenda
5. Approval of Consent Agenda
6. Approval of Minutes
 - a. June 4, 2026 - City Attorney's Office requests Motion to Rescind prior June 4, 2026 Minutes Amendment and Approval from August 6, 2026 Planning Commission hearing and adoption of June 4, 2026 minutes as originally drafted, given misunderstanding about Commissioners voting on approval of agenda versus approval of consent agenda (Natalie Cauley, Assistant City Attorney, nscauley@santafenm.gov)
 - b. August 6, 2026
7. Approval of Findings/Conclusions
 - a. **Case #2025-11753.1802, 1750 Cerrillos Rd, 1361 Fourth St, and 3 RD Berry Ave Development Plan. (POSTPONED FROM AUGUST 6, 2026)**
 - b. **Case #2025-11756.1802, 1750 Cerrillos Rd, 1361 Fourth St, and 3 RD Berry Ave Special Use Permit. (POSTPONED FROM AUGUST 6, 2026)**
 - c. **Case #2025-11164. 1372 Boylan Lane, 2743 Boylan Circle, and 2745 Boylan Circle, General Plan Amendment.**
 - d. **Case #2024 – 9461. 1372 Boylan Lane, 2743 Boylan Circle, and 2745 Boylan Circle, Rezoning.**
 - e. **Case #2024-7999. 2981 Galisteo Road Development Plan.**
 - f. **Case #2026-12048. 1202 W Alameda Development Plan.**
 - g. **Case #2026-12047. 1202 W Alameda Rezoning.**
8. Consent
9. Old Business
10. New Business
11. Staff Communications
12. Matters from the Commission
13. Adjourn

Persons with disabilities in need of accommodations, contact the City Clerk's office at

955-6521, five (5) working days prior to meeting date.



MINUTES

REGULAR MEETING OF THE
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Vice Chair Smith called the meeting to order at 6:03 p.m.

A. ROLL CALL

Commissioners Present:

Chair Janet Clow (via teleconference)
Vice Chair Peter Smith
Commissioner Thomas (TJ) Rieland
Commissioner Piper Kapin
Commissioner Sasha McGhee (from
6:06 p.m.)
Commissioner Gurushabad Mirando
(from 6:08 p.m.)
Commissioner Scott Barber

Vice Chair Peter Smith served as
Acting Chair during the meeting.

B. PLEDGE OF ALLEGIANCE

Vice Chair Smith led the Pledge of Allegiance.

C. APPROVAL OF AGENDA

MOTION: Commissioner Rieland moved, seconded by Commissioner Kapin, to approve the agenda, as presented.

VOTE: The motion was approved on the following roll call vote:

For:

Commissioner TJ Rieland
Commissioner Piper Kapin
Commissioner Scott Barber

Against: None

Abstain: None



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D. APPROVAL OF CONSENT AGENDA

MOTION: Commissioner Rieland moved, seconded by Commissioner McGhee, to approve the consent agenda, as presented.

VOTE: The motion was approved on the following roll call vote:

For: Chair Janet Clow
Commissioner TJ Rieland
Commissioner Piper Kapin
Commissioner Scott Barber
Commissioner Sasha McGhee
Commissioner Gurushabad Mirando

Against: None

Abstain: None

E. APPROVAL OF MINUTES

1. April 16, 2026

MOTION: Commissioner Kapin moved, seconded by Commissioner Rieland, to approve the minutes of the April 16, 2026, Planning Commission meeting, postponed to May 7, 2026, as presented.

VOTE: The motion was approved on the following roll call vote:

For: Chair Janet Clow
Commissioner TJ Rieland
Commissioner Piper Kapin
Commissioner Scott Barber
Commissioner Sasha McGhee
Commissioner Gurushabad Mirando

Against: None



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Abstain: None

2. May 7, 2026

MOTION: Commissioner Barber moved, seconded by Commissioner Kapin, to approve the minutes of the May 7, 2026, Planning Commission meeting, as presented.

VOTE: The motion was approved on the following roll call vote:

For: Chair Janet Clow
Commissioner TJ Rieland
Commissioner Piper Kapin
Commissioner Scott Barber
Commissioner Sasha McGhee
Commissioner Gurushabad Mirando

Against: None

Abstain: None

F. APPROVAL OF FINDINGS/CONCLUSIONS

1. Case #2025-10766. 2780 South Meadows Road, General Plan Amendment.

MOTION: Commissioner McGhee moved, seconded by Commissioner Mirando, to approve findings for Case #2025-10766 without changes or corrections.

VOTE: The motion was approved on the following roll call vote:

For: Chair Janet Clow
Commissioner TJ Rieland
Commissioner Piper Kapin
Commissioner Gurushabad Mirando
Commissioner Sasha McGhee
Commissioner Scott Barber

Against: None



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Abstain: None

2. **Case #2025-10767. 2780 South Meadows Road, Rezoning.**

MOTION: Commissioner Kapin moved, seconded by Commissioner McGhee, to approve findings for Case #2025-10767 without changes or corrections.

VOTE: The motion was approved on the following roll call vote:

For:
Chair Janet Clow
Commissioner TJ Rieland
Commissioner Piper Kapin
Commissioner Gurushabad Mirando
Commissioner Sasha McGhee
Commissioner Scott Barber

Against: None

Abstain: None

3. **Case #2025-11625. 1335 Camino de Jacobo, Development Plan.**

MOTION: Commissioner McGhee moved, seconded by Commissioner Kapin, to approve findings for Case #2025-11625 without changes or corrections.

VOTE: The motion was approved on the following roll call vote:

For:
Chair Janet Clow
Commissioner TJ Rieland
Commissioner Piper Kapin
Commissioner Gurushabad Mirando
Commissioner Sasha McGhee
Commissioner Scott Barber



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Against: None

Abstain: None

G. CONSENT

1. **Case #2026-12244. Cluster Housing at Monte Sereno, Development Plan & Variance Time Extension.** Amrit Aristimuno, "Agent," 21 Club Holdings, LLC, Applicant, "Owner," request development plan and variance approval to construct 50 dwellings with attached garages, ranging in size from 1,725 square feet to 3,425 square feet, for a total square footage of up to 200,050 square feet (project). The variance is to Terrain and Stormwater Management Subsections 14-8.2. D.1.I. and 14-8.2.D.2.II. for road construction within the project. The project is approximately 17.06 acres and zoned Planned Residential Resort Community (PRRD), located west of Highway 285, 2001 Sangre Vista Drive and 1001 Tesuque Trail Lane, and is within the Monte Sereno Development. (Claudia Kath, Case Manager, cmkath@santafenm.gov).

H. NEW BUSINESS

1. **Case #2025-11753. 1802 and 1750 Cerrillos Road, 1361 Fourth Street, and 3 RD Berry Avenue, Development Plan.** Sommer Karnes & Associates LLP and B Constructiv LLC, "Agent" for Amatren, LLC., owner and applicant, "Applicant," requests approval of a development plan on 2.72 acres for an indoor self-storage facility containing climate-controlled storage and community offices; creative office suites (mini-storage units); and a community dog park. The properties are zoned C-2 (General Commercial) and located within the Cerrillos Road Highway Corridor (CRHC) Protection District Zone One and the Suburban Archaeological Review District. (George Terry, Case Manager, agterry@santafenm.gov).

Cases 2025-11753 and 2025-11756 were presented together.

Mr. Terry presented the cases and the staff recommendation. Staff recommended that the Planning Commission approve both cases, subject to the conditions of approval and technical corrections outlined in Attachment A of the staff report.

Commissioner Rieland inquired whether the traffic assessment was conducted when Empire Builders Supply Co Inc. was still active or after it became vacant. Mr. Pacheco responded that it was based on the uses of the Empire Builders building and the planned improvements to Cerrillos Road.



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Vice Chair Smith requested additional information on the mural and the creative workspaces. Mr. Terry responded that the mural is discussed in the public comment record and is treated as a neighborhood context issue. Some of the storage units will be converted into small, boutique-style operating spaces for many uses. As they will still resemble storage units, they will have garage-style doors.

Joseph Karnes, Sommer Karnes & Associates LLP, 125 Lincoln Avenue, Santa Fe; Drew Dolan, Dxd Capital LP, 816 Salamanca Street, Albuquerque; and Lisa Martinez, B Constructiv, LLC, 3201 C Zafarano Drive, Santa Fe, the applicants, were sworn in.

Ms. Martinez noted that the intention of the project was to redevelop an underused commercial property and add spaces to support small businesses and entrepreneurs. The project would expand commercial and employment opportunities and provide greater visual interest than the existing building.

Mr. Dolan shared statistics of user demand for self-storage and reasons self-storage facilities make good neighbors. He noted that the two self-storage facilities nearest to the subject site are nearly at capacity and shared the proposed site plan compared to the existing Empire Builders building; the proposed building will be significantly smaller and set back from Cerrillos Road. The applicants are working with the city on the proposed bus stop relocation. He shared an image of the existing mural, painted in 1985. There is no way to salvage it, and the applicants plan to recreate it in another location on the proposed site.

Commissioner Kapin suggested that the mural be recreated on the exterior of the proposed building and inquired regarding the pricing model of the workspaces. Mr. Dolan responded that the monthly rent will likely be \$10 to \$15 per square foot, and leases for up to five years as well as month-to-month arrangements will be available. The workspaces will have electricity, lighting, heaters, and an option for plumbing.

Commissioner McGhee inquired whether the statement that facilities such as the proposed experience 1/20 traffic accounted for the workspaces and the dog park. Mr. Dolan responded that it referred to a storage facility compared to a retail use; it does not account for the dog park and community area.

Commissioner Barber inquired whether the creative workspaces would be in Site 1 or 2. Mr. Dolan responded that they would be in Site 2. Site 1 is proposed to be storage only.

Commissioner Rieland inquired regarding the operating hours for the workspaces and whether the dog park would be the responsibility of the tenants or overseen in-house. Mr.



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Dolan responded that users of the workspaces would have access cards and could set their own operating hours. The dog park is built into the maintenance budget.

Mr. Karnes introduced himself as the land use counsel and addressed the special use permit request. He noted that many C-2 uses permitted by right are higher intensity than the proposed use, and staff has concluded that the application meets city code requirements. Concerns were expressed during the early neighborhood notification process regarding the impact on local businesses. Mr. Karnes noted that regulation of competition was outside the Commission's purview.

Mr. Rieland noted the presence of conflicting information regarding plans for a five-foot area between the road and the building. Mr. Dolan responded that there would be a landscape gravel area between the sidewalk and the road. There would be landscaping between the sidewalk and building.

Frank Culver, 5505 Old Santa Fe Trail, Santa Fe, was sworn in. He identified himself as the owner of Empire Builders and shared some history of the neighborhood and his business. He expressed satisfaction that the current building, which he considers unattractive, would be replaced by a more attractive one. He noted that he considered neighborhood concerns when choosing a buyer for the property, and he believes the applicant presented the best idea for the community. A study determined that the current mural cannot be restored.

David Barker, 1011 Old Santa Fe Trail, Santa Fe, was sworn in. He noted that Mr. Culver hired him, a real estate broker, to select an appropriate buyer for the property. Neighbors had expressed concern regarding other proposed uses for the property, such as an apartment complex. He noted that the proposal provides several community benefits, and that competition will reduce self-storage prices.

Forrest Thomas, 340 East Berger Street, Santa Fe, was sworn in. He identified himself as the owner of the nearby Santa Fe Self-Storage and noted that a special use permit is a privilege and requires more than code compliance. He noted that self-storage does not belong on a main commercial corridor and that DXD Capital practices aggressive pricing.

Sean Ham, 1600 Lena Street, Santa Fe, was sworn in. He identified himself as the owner of Iconik Coffee Roasters and noted that the renderings of the proposed project showed landscaping that was better suited to a Phoenix suburb than to Santa Fe. He expressed concern that the proposed 30-foot setback could be used by individuals experiencing homelessness, that the workspaces may become regular storage units due to the high rent, and that there were too many large corporations in the area.



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Dierdre Harris, 814 Camino de Monte Rey, Santa Fe, was sworn in. She noted that she lives near the subject site and that the area already has nine self-storage facilities. She suggested that the subject site be used for residential units.

Mr. Terry noted that the Big Box Ordinance that was referenced does not apply to the proposed project, as it is not retail, and that the subject parcel's only overlays are the CRHC Protection District Zone One and the Suburban Archaeological Review District.

Vice Chair Smith inquired regarding the other uses previously proposed for the subject site. Dan Esquibel, Land Use Planner Senior, responded that the only application since 2005 was for a multi-family apartment complex, which the applicant withdrew due to opposition.

Commissioner Rieland inquired whether the Culver family still owned the land. Mr. Culver responded that he has sold it.

Mr. Esquibel provided additional clarification regarding the conditional use permit, noting that some uses can be permitted if reviewed and approved, which is the purpose of the current process.

Commissioner Mirando expressed difficulty in deciding whether to support the project. He noted that the site design and architecture were well done.

Commissioner Kapin expressed agreement that the building is attractive but noted that it seems out of character for the neighborhood and inquired whether the applicant had other design ideas. Mr. Dolan responded that changes were made after the neighborhood meeting, and he is open to changing the building's appearance further so that it fits into the neighborhood.

Chair Clow noted that the area in question is rather crowded and that the proposed project is a good use because it is low-key, set back from the street, and attractive. She noted that neighbors appeared to be satisfied with the proposal, as they have not expressed opposition. Commissioner Kapin noted that a few community members had expressed opposition at the meeting. Chair Clow responded that they did not appear in significant numbers to express opposition.

Commissioner McGhee noted that self-storage may not be the best use of the site, as there are other self-storage businesses in the area, but expressed support for the community space, dog park, and demolition of the existing building. She noted that housing may have been a better option.



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Commissioner Kapin inquired whether the fire hydrant in the middle of the sidewalk would be relocated during the sidewalk improvement process. Heather Lamboy, Planning and Land Use Director, responded that it would. Commissioner Kapin congratulated Mr. Culver on operating a multi-generational small business for many years.

Commissioner Mirando suggested that the applicant address landscaping and screening and inquired whether specific intentions regarding the mural could be added as a condition of approval. Mr. Dolan responded that the mural would be recreated on the exterior of the building. The wall facing Cerrillos Road is not large enough; he believes the wall facing Fifth Street is the best option. He shared the landscape plan, noting that the landscaping depicted in the rendering is inaccurate and that the applicants are open to feedback.

Commissioner Mirando requested additional information regarding water harvesting and the proposed dog park. Mr. Dolan responded that the intention is to collect all water that comes from the roof and use it for landscaping. The applicant is working with a manufacturer of dog parks; it is likely that turf and a fence will be installed, ideally with a double-gate system. A water feature will likely not be provided to deter individuals experiencing homelessness from using the park after hours. More details can be added to the application.

Commissioner Kapin inquired regarding the size of the dog park and how it would be secured. Mr. Dolan responded that it would be 2,000 to 2,500 square feet and would have hours posted. The manager will observe it from the office across the street but cannot observe it after hours. It would likely not be possible to lock it after hours. Water will be available at Building 4.

Commissioner Kapin suggested that the applicant consider options to provide water in the park and inquired whether another wall could be used for a second mural by a local artist. Mr. Dolan responded that the southeast corner of Building 4 is not large enough for the original mural but would be an ideal place for a second one. Commissioner Kapin suggested that this be included in the motion.

Commissioner Mirando inquired whether the applicant would be open to returning with a more complete plan. Mr. Dolan responded that they could; however, there are timelines to consider.

Chair Clow expressed opposition to asking the applicant to return, noting that items such as the second mural could be added as conditions of approval and that staff would ensure that details such as landscaping were planned and completed appropriately.



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MOTION: Commissioner Mirando moved, seconded by Commissioner McGhee, to approve Case #2025-11753, subject to the conditions of approval and technical corrections in Attachment A of the staff report.

VOTE: The motion was approved on the following roll call vote:

For: Chair Janet Clow
Commissioner TJ Rieland
Commissioner Piper Kapin
Commissioner Gurushabad Mirando
Commissioner Sasha McGhee
Commissioner Scott Barber

Against: None

Abstain: None

2. **Case #2025-11756. 1802 and 1750 Cerrillos Road, 1361 Fourth Street, and 3 RD Berry Avenue, Special Use Permit.** Sommer Karnes & Associates LLP, and B Constructiv LLC, "Agent" for Amatren, LLC., owner and applicant, "Applicant," requests approval of a special use permit to develop an indoor self-storage facility containing climate-controlled storage and community offices; creative office suites (mini-storage units); and a community dog park on 2.72 acres. The properties are zoned C-2 (General Commercial) and located within the Cerrillos Road Highway Corridor (CRHC) Protection District Zone One and the Suburban Archaeological Review District. (George Terry, Case Manager, agterry@santafenm.gov).

This item was heard with Case 2025-11753.

MOTION: Commissioner Mirando moved, seconded by Commissioner Barber, to approve Case #2025-11756 subject to the conditions and approval and technical corrections in Attachment A of the staff report, as well as that the existing mural be reproduced on the exterior visible to the public and that a second mural, created by a Santa Fe artist, be added to the exterior in a location to be chosen by the applicant and staff.

VOTE: The motion was approved on the following roll call vote:



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For: Chair Janet Clow
Commissioner TJ Rieland
Commissioner Piper Kapin
Commissioner Gurushabad Mirando
Commissioner Sasha McGhee
Commissioner Scott Barber

Against: None

Abstain: None

3. **Case #2025-11265. 996 Martinez Lane, Certificate of Compliance.** Dalton Land Insights, LLC, "Agent" for Joseph Foster and Elaine Foster, "Owners/Applicants," requests Planning Commission review and action on a certificate of compliance for a lot or contiguous lots that have been created in violation of the procedural requirements of Section 14-3.7 Subdivision of Land. The property is approximately 0.317 acres, zoned R-5 Residential, and located within the Historic Downtown Archaeological Review District. (George Terry, Case Manager, agterry@santafenm.gov).

Mr. Terry presented the case and the staff recommendation. Staff recommended that the Planning Commission approve Case #2025-11265, 996 Martinez Lane, Certificate of Compliance, subject to the conditions of approval in Section VIII of the staff report.

Victoria Dalton, the agent, 915 Mercer Street, Santa Fe, was sworn in. She noted that the process has taken two years and that the Fosters support the recommended conditions and are willing to complete any required actions involving the existing sheds and casita. They would like to move forward with necessary repairs on the property as soon as possible.

A neighbor expressed approval of the new property owners' wish to improve the property, which had been in disrepair.

MOTION: Commissioner Kapin moved, seconded by Commissioner McGhee, to approve Case #2025-11265, based on the findings in the staff report and subject to the conditions of approval.

VOTE: The motion was approved on the following roll call vote:

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For: Chair Janet Clow
Commissioner TJ Rieland
Commissioner Piper Kapin
Commissioner Gurushabad Mirando
Commissioner Sasha McGhee
Commissioner Scott Barber

Against: None

Abstain: None

4. **Case #2025-11164. 1372 Boylan Lane, 2743 Boylan Circle, and 2745 Boylan Circle, General Plan Amendment.** NM Land Solutions, LLC, “Agent” for Larry Boylan, “Owner,” requests approval to amend the General Plan Future Land Use Map from Transitional Mixed-Use to General Commercial on a 5.96-acre lot. The property is located within the River and Trails Archaeological Review District and West Santa Fe River Corridor (Joel Cruz-Haber, Case Manager, jacruzhaber@santafenm.gov). (TO BE POSTPONED TO JULY 2, 2026)

Vice Chair Smith received a request to add Cases 2025-11164 and 2024-9461 to the June 18, 2026, meeting agenda rather than the July 2, 2026, agenda given the proximity of the second meeting to a holiday weekend.

MOTION: Commissioner Rieland moved, seconded by Commissioner Kapin, to move Case #2025-11164 and Case #2024-9461 to the agenda of the June 18, 2026, Planning Commission meeting.

VOTE: The motion was approved on the following roll call vote:

For: Chair Janet Clow
Commissioner TJ Rieland
Commissioner Piper Kapin
Commissioner Gurushabad Mirando
Commissioner Sasha McGhee
Commissioner Scott Barber



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Against: None

Abstain: None

5. **Case #2024 – 9461. 1372 Boylan Lane, 2743 Boylan Circle, and 2745 Boylan Circle, Rezoning.** NM Land Solutions, LLC, “Agent” for Larry Boylan, “Owner,” requests approval for a rezoning of a 5.96-acre lot located from R1 (Residential- one dwelling unit per acre) to C-2 (General Commercial). The property is located within the River and Trails Archaeological Review District and West Santa Fe River Corridor (Joel Cruz-Haber, Case Manager, Jacruzhaber@santafenm.gov). (TO BE POSTPONED TO JULY 2, 2026)

The Commission voted to move Cases #2025-11164 and #2024-9461 to the June 18, 2026, meeting agenda.

I. STAFF COMMUNICATIONS

Frank Ruybalid, Assistant City Attorney, reported that the appeal of the Commission’s approval of the Marriott Hotel would be heard at a special meeting of the Governing Body on June 25, 2026, at 4:00 p.m. He noted that a new Assistant City Attorney may take over soon.

J. MATTERS FROM THE COMMISSION

There were no matters from the Commission.

K. ADJOURNMENT

8:44 P.M.

Liaison

Chair



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Vice Chair Smith called the meeting to order at 6:04 p.m.

A. ROLL CALL

Commissioners Present:

Chair Janet Clow (via teleconference)

Vice Chair Peter Smith

Commissioner Thomas (TJ) Rieland

Commissioner Piper Kapin (via teleconference)

Commissioner Sasha McGhee

Commissioner Gurushabad Mirando

Commissioner Scott Barber (from 6:13 p.m.)

Vice Chair Peter Smith served as Acting Chair during the meeting.

B. PLEDGE OF ALLEGIANCE

Commissioner McGhee led the Pledge of Allegiance.

C. APPROVAL OF AGENDA

MOTION: Chair Smith requested a roll call to approve the agenda, as presented.

VOTE: The motion was approved on the following roll call vote:

For:

Chair Janet Clow

Vice Chair Peter Smith

Commissioner TJ Rieland

Commissioner Piper Kapin

Commissioner Sasha McGhee

Commissioner Gurushabad Mirando

Against: None

Abstain: None



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D. APPROVAL OF CONSENT AGENDA

MOTION: There were no mover and seconder, to approve the consent agenda, as presented. There were no items on the consent agenda.

VOTE: The consent agenda was approved on the following roll call vote:

For: Chair Janet Clow
Commissioner TJ Rieland
Commissioner Piper Kapin
Commissioner Sasha McGhee
Commissioner Gurushabad Mirando

Against: None

Abstain: None

E. APPROVAL OF MINUTES

1. June 4, 2026

MOTION: Chair Clow moved, seconded by Commissioner Mirando, to approve the minutes of the June 4, 2026, Planning Commission meeting, as amended.

VOTE: The motion was approved on the following roll call vote:

For: Chair Janet Clow
Vice Chair Peter Smith
Commissioner TJ Rieland
Commissioner Piper Kapin
Commissioner Sasha McGhee
Commissioner Gurushabad Mirando

Against: None



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Abstain: None

2. June 18, 2026

MOTION: Commissioner Rieland moved, seconded by Commissioner Mirando to approve the minutes of the June 18, 2026, Planning Commission meeting, as presented.

VOTE: The motion was approved on the following roll call vote:

For: Vice Chair Peter Smith
Commissioner TJ Rieland
Commissioner Piper Kapin
Commissioner Sasha McGhee
Commissioner Gurushabad Mirando

Against: None

Abstain: Chair Janet Clow

F. OLD BUSINESS

1. **Case #2025-11753.** The City Attorney's Office (CAO) is requesting a motion to amend the previous conditions of approval to remove the requirement that the Applicant hire an artist from Santa Fe to complete the two murals (Natalie Cauley, Assistant City Attorney, nscauley@santafenm.gov).

Cases #2025-11753 and #2025-11756 were presented together.

Ms. Cauley presented the background and analysis of the cases, noting that the CAO reviewed the conditions of approval and concluded that the requirement for the residency of the artist(s) completing the mural is likely not legally enforceable. The CAO recommended that the Planning Commission make a motion to amend something previously adopted to strike the artist residency requirement from the conditions of approval for each case. The findings of fact and conclusions of law may then be adopted without the artist-residency requirement.

Vice Chair Smith inquired whether one or two motions were required for the two cases. Ms. Cauley responded that one motion for both cases would be sufficient.

Commissioner Kapin expressed understanding of the legal concerns but noted a need to retain



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the intention that motivated the condition, namely, a desire to create opportunities for Santa Fe artists to contribute to a public-facing portion of the project. She noted that the applicant voluntarily agreed to engage artists from Santa Fe. She also noted that the city's public art policy recognizes the role public art can play in reflecting Santa Fe's cultural heritage, engaging the community, and contributing to its vibrant neighborhoods. She proposed to state the motion as follows: "to amend the previously adopted conditions of approval for Cases #2025-11753 and #2025-11756 by replacing the requirement that the applicant hire artists from Santa Fe with the following: 'The applicant shall make a good-faith effort to solicit proposals from Santa Fe artists for the two required murals, including direct outreach to Santa Fe artists or Santa Fe arts organizations; the applicant shall provide documentation of those outreach efforts to the city prior to selecting the artist or artists.'" She requested advice from legal counsel and the Commission on the proposed language.

Commissioner McGhee expressed support for the changed language.

Ms. Cauley noted that Commissioner Kapin's proposed language was acceptable; however, because the proposed motion was not on the agenda, the applicant was not given an opportunity to respond. She suggested that the Commission retain the previous motion and recognize Commissioner Kapin's recommendation for the record. She further noted that the findings of fact and conclusions of law do not include the residency requirement and suggested that their approval be deferred to another meeting.

Dan Esquibel, Land Use Planner Senior, requested confirmation that Commissioner Kapin's motion would be presented at the August 20, 2026, meeting. Commissioner Kapin responded that Ms. Cauley stated that the previous motion would be retained. Vice Chair Smith noted that he understood Ms. Cauley's advice to be not to change the motion at this time but to include Commissioner Kapin's comments as the Commission's intention. Ms. Cauley responded that this was correct.

Commissioner Mirando clarified that the intent of his motion was to postpone the case to revise the findings and conclusions to reflect the original motion, as the Commission had established the need for it.

MOTION: Commissioner Mirando moved, seconded by Commissioner Rieland, to postpone Cases #2025-11753 and #2025-11756 to the August 20, 2026 meeting.

VOTE: The motion was approved on the following roll call vote:

For: Chair Janet Clow
Commissioner TJ Rieland



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Commissioner Sasha McGhee
Commissioner Gurushabad Miranda
Commissioner Scott Barber
Against: None
Abstain: None

2. **Case #2025-11756.** The City Attorney's Office is requesting a motion to amend the previous conditions of approval to remove the requirement that the Applicant hire an artist from Santa Fe to complete the two murals (Natalie Cauley, Assistant City Attorney, nscauley@santafenm.gov).

This item was heard with Case #2025-10753, and the two cases were covered by a single motion.

G. APPROVAL OF FINDINGS/CONCLUSIONS

1. **Case #2025-11753.** 1802, 1750 Cerrillos Road, 1361 Fourth Street, and 3 RD Berry Avenue Development Plan. (POSTPONED FROM JULY 16, 2026)

Vice Chair Smith left the meeting for approximately four minutes. Commissioner Miranda acted as Chair in his absence.

Ms. Cauley recommended that approval of findings and conclusions for Cases #2025-11753 and #2025-11756 be postponed.

MOTION: Commissioner McGhee moved, seconded by Commissioner Rieland, to postpone approval of findings and conclusions for Cases #2025-11753 and #2025-11756, per the Board's previous postponement of discussion of the murals to August 20, 2026.

VOTE: The motion was approved on the following roll call vote:

For:
Chair Janet Clow
Commissioner TJ Rieland
Commissioner Piper Kapin
Commissioner Sasha McGhee
Commissioner Scott Barber



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Against: None

Abstain: None

-
2. **Case #2025-11756. 1802, 1750 Cerrillos Road, 1361 Fourth St, and 3 RD Berry Avenue Special Use Permit. (POSTPONED FROM JULY 16, 2026)**

This item was discussed with Case #2025-10753, and the two cases were covered by a single motion.

-
3. **Case #2025-11265. 996 Martinez Lane Certificate of Compliance. (POSTPONED FROM JULY 16, 2026)**

MOTION: Commissioner McGhee moved, seconded by Commissioner Barber, to approve the findings and conclusions for Case #2025-11265 without changes or corrections.

VOTE: The motion was approved on the following roll call vote:

For: Chair Janet Clow
Commissioner TJ Rieland
Commissioner Piper Kapin
Commissioner Sasha McGhee
Commissioner Scott Barber

Against: None

Abstain: None

H. CONSENT

There were no items under consent.

I. STAFF COMMUNICATIONS

1. Update on the Economic Development Strategic Plan (Johanna Nelson, Director; jcnelson@santafenm.gov).

Staff Communications was heard after Old Business.



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Land Use Director Heather Lamboy noted that it was suggested that an economic development strategy be created as a companion project to the strategic plan.

Ms. Nelson noted that Leland Consulting has been engaged to assist staff with developing a new five-year economic development comprehensive strategic plan. She provided an update on the team's progress, noting that there are nine tasks, and the team is currently performing the fourth and fifth tasks, which involve in-depth interviews. The team is also working to revise and refine existing plans so that they can be incorporated into the economic development comprehensive strategic plan.

Vice Chair Smith requested that Ms. Nelson share the slide deck with the Board. Ms. Nelson agreed to do so after the meeting. Vice Chair Smith expressed appreciation for the focus on smaller and local businesses. Ms. Nelson responded that the office is working to deliver a business retention and expansion initiative.

Commissioner Mirando inquired regarding how the nodes are identified and whether staff could incorporate that information into the code rewrite. Ms. Nelson responded that she believes the nodes are identified by reviewing the land use code for trends, gaps, and opportunities. She noted that she would welcome the opportunity to work with staff once a draft is received from the consultants. Commissioner Mirando inquired regarding the use of tracking software. Ms. Nelson responded that she has not heard of Google applications being used, but Placer.ai and other tools are used to track commuter and workforce activity.

Ms. Lamboy noted that the general plan amendments would assist the team in refining the city's economic development goals. She noted that Ms. Nelson had applied for a TradePort grant.

Commissioner Mirando inquired whether there was fluid discourse with the team that is rewriting the general plan. Ms. Nelson responded that there was.

J. NEW BUSINESS

- 1. Case #2024-7999. 2981 Galisteo Road Development Plan.** JenkinsGavin, Agent for Anchorum St. Vincent, Owner, requests Development Plan approval to construct a 65,937-square-foot skilled nursing facility. The property is located at 2981 Galisteo Road and consists of approximately 6.325 acres. The project site is zoned Business Industrial Park (BIP) and is within the Suburban and River and Trails Archaeological Review Districts. George Terry, Case Manager, agterry@santafenm.gov. **(POSTPONED FROM JULY 16, 2026)**



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Mr. Terry presented the case and the staff recommendation. Staff recommended approval of Case #2024-7999, 2981 Galisteo Road Development Plan, subject to the conditions of approval and technical corrections included in Attachment A, based on the findings set forth in the staff report.

Jennifer Jenkins, the agent, 130 Grant Avenue, Santa Fe, was sworn in. She shared additional details of the proposed project, including the specific type of medical care to be provided, emergency access, pedestrian amenities, statistics indicating a need for the proposed facility, statistics from the traffic impact analysis (TIA), and renderings of the facility. The applicant's traffic engineer recommended that the city reduce the posted speed limit to 20 miles per hour at the curve along Galisteo Road and install advance curve warning signage.

Commissioner Barber inquired how future growth was calculated into the TIA. Ms. Jenkins responded that a 1% growth rate was used.

Commissioner Kapin expressed appreciation for the proposed trail and inquired where it connects to the road in comparison to an existing bus stop. Ms. Jenkins shared an aerial image showing the trail and bus stop and responded that there would be safe connections. Commissioner Kapin noted that road striping may be needed.

Vice Chair Smith opened the floor to public comment.

Leesa Key, 2913 Corte del Potro, Santa Fe, was sworn in. She noted that the proposed facility would be across the street from her home and that she had no concerns regarding the building. She noted that residents of the area have been using the subject site for walking their dogs and exercising and suggested that the applicant find a way to facilitate continued exercise opportunities on the site for neighbors and future staff. She also suggested improvements to the road conditions, which are already poor and may be worsened by construction vehicles.

A resident of 2912 Corte del Potro, Santa Fe, was sworn in. She expressed support for the project and agreement with Ms. Key's concerns regarding traffic and a lack of safe multimodal access. She requested that the city recognize the neighborhood's traffic and roadway issues and noted that the crash data used in the TIA may be outdated.

Vito Spinale, 2946 La Silla Dorada, Santa Fe, was sworn in. He expressed support for the project but noted concerns regarding increased traffic. He requested that the city review the changing conditions of the traffic and roadways in the area.



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Miriam Corneli, 2639 Via Berrenda, Santa Fe, was sworn in. Speaking via teleconference, she expressed agreement with the aforementioned issues regarding Galisteo Road's worsening conditions, the traffic concerns, and the suggestion to reserve a portion of the existing open space for local walkers and residents. She suggested that the city consider installing speed bumps.

Vice Chair Smith closed the public hearing.

Commissioner McGhee noted the presence of the engineer and inquired whether there were plans to improve the road conditions in the subject area. City Traffic Engineering Technician Leroy Pacheco shared how the Public Works department implements improvement processes, noting that it is a political process reliant on neighborhoods approaching the city with their concerns. Commissioner McGhee requested confirmation that there were no current plans to improve the intersection in question, and that neighbors are recommended to contact the City Council to be placed on a list. Mr. Pacheco responded that the project in question would not contribute to the failing southbound turn from Galisteo Road. Such findings are now being fed into the Public Works planning processes so that areas can be identified for possible inclusion on future capital improvement lists. He agreed to ensure that the intersection in question is tracked.

Commissioner Mirando inquired whether the crash incidents used for the TIA were current. Mr. Pacheco responded that the crash analysis for the TIA was performed by a now-deceased individual using different protocols. The traffic review team now has access to the Metropolitan Planning Organization (MPO) crash dashboard and will make that data more available to the traffic engineering group. While the crash analysis is accurate, Mr. Pacheco was unsure of how recent the crash data is. When he was granted access, he was instructed not to share the MPO crash dashboard with developers but will inquire whether he can do so now.

Commissioner Mirando inquired how the infrastructure issues of the area could be mitigated if the project in question were approved. Mr. Pacheco noted that, for all developments, growth pays for its impacts. Mr. Esquibel noted that the city has already established and approved a list of how impact fees are assessed and how the funds are allocated. He was unsure of the process to amend it.

Vice Chair Smith requested that staff inform other city staff that development in the area would worsen the conditions of the intersection in question. Mr. Esquibel agreed to do so. Mr. Pacheco noted that the list of capital improvement projects was long.

Ms. Jenkins noted a willingness to create an addendum to support city efforts to allocate resources toward improvements to Galisteo Road, provided that the necessary



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information was made available.

MOTION: Commissioner Mirando moved, seconded by Commissioner McGhee, to approve Case #2024-7999, subject to the conditions of approval and technical corrections in Attachment A, based on the finding set forth in the staff report; and to highlight to the Governing Body that this approval would further tax a roadway that has already outlived its useful life.

VOTE: The motion was approved on the following roll call vote:

For: Chair Janet Clow
Commissioner TJ Rieland
Commissioner Piper Kapin
Commissioner Sasha McGhee
Commissioner Gurushabad Mirando
Commissioner Scott Barber

Against: None

Abstain: None

2. **Case #2026-12047. 1202 West Alameda Rezoning.** JenkinsGavin Inc, Agent for Boyd & Allister, LLC, "Applicant," asks the Planning Commission to recommend the Governing Body approve a rezoning on the 1.695-acre lot at 1202 West Alameda to establish a new planned unit development (PUD) overlay expanding the allowed uses in the existing PUD overlay (Ordinance #2006-49). The property is zoned C-2 PUD and is in the River and Trails Archeological Review District (Claudia Kath, Case Manager, cmkath@santafenm.gov).

Cases #2026-12047 and #2026-12048 were presented together.

Ms. Kath presented the case and the staff recommendation. Staff recommended that the Planning Commission recommend the Governing Body approve both cases, subject to the conditions of approval and technical corrections outlined in Attachment A of the staff report.

Commissioner McGhee noted that she was unable to locate the early neighborhood notification (ENN) notes in the attachments. Ms. Kath responded that the notes were submitted; however, the ENN notes often end up not being printed when they come at the end of large files.



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Commissioner Kapin inquired whether there was a difference between the parking spots designated for bicycles and those designated for electronic bicycles, such as charging ports. Ms. Kath responded that she believes there will be charging ports. Commissioner Miranda noted that the spaces may just require different infrastructure.

Ms. Jenkins, the agent, previously sworn in, provided additional details on the proposed project, including phasing, a traffic study, and a request to consider a modification to the permissible uses to include service establishments.

Chair Clow inquired whether a new condition could be added when it had not been noticed. Ms. Cauley responded that it could not.

Commissioner Rieland inquired regarding the date of the traffic study.

Carl Vermillion, traffic engineer, 10554 Coyote Canyon Place Northwest, Albuquerque, was sworn in. Speaking via teleconference, he noted that the traffic counts were taken in January of 2025; however, adjustments were made to aggregate the numbers toward busier seasons. Commissioner Rieland noted that Santa Fe was busiest in August. Ms. Jenkins responded that it is often not possible to choose the time of a traffic study; however, Mr. Vermillion adjusted the numbers to reflect the median traffic counts in Santa Fe.

Commissioner Kapin noted that the subject property is located next to a church and inquired if the applicant had explored whether it would be possible to acquire a liquor license. Ms. Jenkins responded that this would be explored after the project is approved. Commissioner Kapin noted that this was a significant risk and inquired whether the applicant had a backup plan. Ms. Jenkins responded that she was unaware of a backup plan; however, there are other permitted uses that align with the owner's intent.

Commissioner Rieland inquired whether the PUD originally had a height limit and whether it falls within the River and Trails overlay. Ms. Kath responded that the height limit was always 45 feet. Mr. Esquibel responded that the subject property is not within the River Corridor District.

Vice Chair Smith inquired whether a third floor would require a new proposal. Ms. Lamboy responded that, per the PUD, the height is regulated by the C-2 zoning district. If the applicant could accommodate a third floor within the 45-foot limit, they would be allowed to do so; however, the Commission may impose a height limit on the PUD.

Vice Chair Smith opened the floor to public comment.



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Cecilia Keough, 120 Sereno Drive, Santa Fe, was sworn in. She noted that she lives across the street from the subject site and that she and her neighbors approve of the proposal; however, if the building is ever built to its permissible height of 45 feet, it would become unsightly. The proposed height of 30 feet, three inches is acceptable. She suggested that the Commission limit the project to its proposed height.

Patricia Cruz, 110 Pine Street, Santa Fe, was sworn in. She noted that she lives across the street from the subject site and supports the project. She expressed concerns regarding traffic, lighting, the permissible height of 45 feet, and the possibility that a traffic light may be required in the future. She noted that her neighbors have expressed support for the restaurant.

Michael Gold, 217 Vuelta Roble, Santa Fe, was sworn in. He expressed approval of the project and agreement with the concerns already noted. He suggested that the Commission address lighting to ensure that there will be no fugitive lighting or large illuminated signage.

Vice Chair Smith closed the public hearing.

Commissioner Barber requested that the agent address the concerns expressed regarding lighting and a traffic signal. Ms. Jenkins responded that certain warrants must be met to require a traffic signal, and it is highly unlikely that one would be needed near the subject site. The city's lighting ordinance states that lighting must be fully shielded and not extend beyond the property line.

Commissioner Barber inquired how Condition No. 10 can be met if the existing pond cannot handle pretreatment. Ms. Jenkins responded that all conditions have been addressed with staff. The property has a separate drain in the dumpster area. There are water quality mechanisms and filtering in the ponds to protect the river. The plans have been submitted to staff.

Commissioner Rieland requested confirmation that the Commission could request a height restriction. Mr. Esquibel responded that this is correct.

Commissioner Mirando inquired whether the owner may decide to add a third floor. Ms. Jenkins responded that the owner does not currently desire a third floor. The second floor is part of the second phase.

Vice Chair Smith requested confirmation that, if the Commission approved a limitation of the project to two floors, a future owner would still be able to request a variance. Mr. Esquibel responded that the Commission's conditions would only be recommendations



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to the Governing Body, which could approve or modify them.

Commissioner Miranda inquired whether the Commission could propose a condition that a future third floor would require the Commission's approval. Mr. Esquibel responded that it would need to be approved by the Governing Body. The development plan is nested under the ordinance.

Commissioner Kapin noted that, while a third floor may appear awkward, the location is ideal for infill, which could be used to mitigate the housing crisis.

Commissioner Miranda noted that the code has no form-based standards and that, if no conditions were made regarding a third floor, it would be covered by the points system. Ms. Lamboy responded that this is correct; however, the code is currently being revised.

Commissioner Rieland inquired whether the current proposed height would include masking rooftop components. Ms. Jenkins noted that the current proposed height is 30 feet, three inches; however, there are currently no construction documents. She requested that the Commission allow for flexibility.

Mr. Esquibel suggested that the Commission add a condition that the residential use be limited to regular residential two-story. The measurement allowance extends to the roof deck, so additional height would be permitted for a parapet and amenities. Ms. Lamboy expressed agreement, noting that the situation was unique because a second story was being added to a tall one-story structure.

MOTION: Commissioner McGhee moved, seconded by Commissioner Rieland, to recommend that the Governing Body approve Case #2026-12047, subject to the conditions and approval and technical corrections in Attachment A of the staff report, as well as an additional condition that the project be limited to two stories.

VOTE: The motion was approved on the following roll call vote:

For: Chair Janet Clow
Commissioner TJ Rieland
Commissioner Piper Kapin
Commissioner Sasha McGhee
Commissioner Gurushabad Miranda
Commissioner Scott Barber



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Against: None

Abstain: None

3. **Case #2026-12048. 1202 West Alameda Development Plan.** JenkinsGavin Inc, Agent for Boyd & Allister, LLC, “Applicant,” asks the Planning Commission to recommend that the Governing Body approve a final development plan for the 1.695-acre property at 1202 West Alameda, pursuant to Santa Fe City Code Section 14-4.1.A.3.III.b. The property is zoned C-2 PUD and is in the River and Trails Archeological Review District (Claudia Kath, Case Manager, cmkath@santafenm.gov).

This case was presented with Case #2026-12047.

Commissioner Mirando inquired whether the motion could include a proposal that the Governing Body consider an additional use for the property. Ms. Cauley advised that this not be done, as the requested additional use, namely, service establishments, was broad and significantly differed from the proposed uses, and the public was not provided notice of the request. Adding a new use could jeopardize the rezoning process.

Ms. Jenkins noted that the Governing Body would be unlikely to hear the case within three months, which would allow time for an additional ENN meeting to discuss the request. She inquired whether the Commission could make a recommendation that the Governing Body consider an additional use, subject to an additional ENN meeting. Chair Clow noted that the ENN was not the only issue. If the Commission were to recommend the additional use, it would be approving an item the public had no notice of. She recommended that the Commission follow Ms. Cauley’s advice. Commissioner Kapin noted that there would be an opportunity for public comment at the Governing Body meeting. Chair Clow responded that the process would still be considered faulty.

Commissioner Mirando noted that he had seen proposed uses be added or removed in past cases. Mr. Esquibel responded that a PUD restricts a property’s uses; therefore, uses cannot be significantly adjusted during a public hearing.

Vice Chair Smith inquired whether the applicant could add another use within the next five years. Mr. Esquibel responded that they could; however, they would need to undergo the full application process under the new code.



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MOTION: Commissioner McGhee moved, seconded by Commissioner Mirando, to recommend that the Governing Body approve Case #2026-12048, subject to the conditions and approval and technical corrections in Attachment A of the staff report, as well as an additional condition that the project be limited to two stories.

VOTE: The motion was approved on the following roll call vote:

For: Chair Janet Clow
Commissioner TJ Rieland
Commissioner Piper Kapin
Commissioner Sasha McGhee
Commissioner Gurushabad Mirando
Commissioner Scott Barber

Against: None

Abstain: None

K. MATTERS FROM THE COMMISSION

Chair Clow inquired whether there would be a meeting on August 7, 2026, to discuss Phase 2 of the code. Commissioner Rieland responded that he had received an email from Senior Planner Joel Cruz-Haber proposing a meeting on August 14, 2026, from 12:30 to 2:30 p.m.

L. ADJOURNMENT

9:23 P.M.

Liaison

Chair

City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law

Case #2025-11753
1802 Cerrillos Development Plan

Owner/Applicant: Amatren, LLC

Agents: Sommer Karnes & Associates, LLP and B Constructiv LLC

Property: 1802 and 1750 Cerrillos Road; 1361 Fourth Street; and 3rd Berry Avenue, Santa Fe, New Mexico

THIS MATTER came before the Planning Commission ("Commission") for public hearing on June 4, 2026 ("Hearing") upon the application ("Application") submitted on behalf of Amatren, LLC ("Applicant").

The Applicant requests approval of a Development Plan for redevelopment of the former Empire Builders site and related parcels on Cerrillos Road. The property is zoned C-2 (General Commercial) and is within the Cerrillos Road Highway Corridor Protection District, Zone 1, and the Suburban Archaeological Review District.

After conducting a public hearing and having heard from City Planning and Land Use Staff ("Staff"), the Applicant, and interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

1. Staff reviewed the Application, related materials, Development Review Team comments, public comments, and other submitted information for conformity with applicable requirements of Chapter 14 SFCC 1987.
2. Staff provided the Commission a written Staff Report evaluating the factors relevant to the Application and recommended approval subject to conditions and technical corrections set forth in Attachment A.
3. Pursuant to former SFCC 1987 Section 14-3.1(F) (2025), which applied to the ENN process at the time, the Applicant conducted two Early Neighborhood Notification ("ENN") meetings on October 6, 2025 and October 23, 2025. The meetings included presentations by the Applicant's team and questions and comments from neighbors and interested persons. Meeting summaries are included in Attachment C-2 to the Staff Report.

4. The Planning Commission heard the matter on June 4, 2026. The Commission received the Staff Report, Staff presentation, testimony and evidence from the Applicant, written public comments, public testimony if any, and other materials in the record prior to making its decision.
5. The public record included comments and concerns related to public access to case materials, Special Use Permit findings, the Cerrillos Road Highway Corridor Protection District, the Suburban Archaeological Review District, fire-station proximity and emergency access, NMDOT / Cerrillos frontage coordination, mural / public art treatment, and corridor character.
6. The public record also included written support for redevelopment of the former Empire Builders site.
7. The Commission approved the Application with conditions, subject to Attachment A: Conditions of Approval and Technical Corrections, as modified by the Commission.
8. The Development Plan request concerns the physical site plan, circulation, dimensional standards, parking, open space, access, signage, lighting, drainage, utility coordination, and technical review for the redevelopment.
9. The record supports a finding that the Development Plan satisfies applicable Development Plan review criteria, subject to Attachment A conditions and technical corrections.
10. No variances are approved through this action.
11. The Commission imposed an additional mural / public art condition requiring reproduction of the existing Empire Builders mural on the exterior of the building in a location visible to the public and requiring a second exterior mural in a location visible to the public, with the location of the second mural to be agreed upon by the applicant and staff. The Commission further required the Applicant hire an artist or artists from Santa Fe to complete both murals.
12. The Commission finds that the conditions and technical corrections set forth in Attachment A, as modified by the Commission, are necessary to accomplish proper development of the area and implement applicable policies and requirements.
13. At the August 6, 2026, Planning Commission hearing, the Commission provided further explanation for the condition that the artist or artists hired to complete the murals be residents of Santa Fe. The Commission seeks to provide opportunities for local artists as a necessary means to promote the local cultural heritage, engage the community, and contribute to vibrant neighborhoods in a manner that aligns with other city-directed initiatives aimed at fostering local artists.

CONCLUSIONS OF LAW

1. The Commission has jurisdiction and authority to review and act on the Application.
2. Pursuant to SFCC 1987 Section 14-2.1, the applicable procedural requirements, including notice and public hearing, have been satisfied based on the record before the Commission. The ENN process was conducted pursuant to former SFCC 1987 Section 14-3.1(F) (2025), which applied to the ENN process at the time.
3. The Staff Report, Attachment A, Development Review Team comments, public comments/support materials, Applicant materials, and hearing testimony constitute substantial evidence in the record supporting the Commission's decision.
4. The Commission concludes that it has authority to approve the Development Plan.
5. The Commission concludes that the Development Plan satisfies applicable review criteria, subject to conditions and technical corrections.
6. The Commission approves the Development Plan subject to Attachment A: Conditions of Approval and Technical Corrections, as modified by the Commission to include the PC-added mural / public art condition.
7. Condition 44 is incorporated into Attachment A and requires: (a) reproduction of the existing Empire Builders mural on the building exterior in a location visible to the public; (b) a second exterior mural visible to the public, with its location agreed upon by the applicant and staff; and (c) that the artist or artists hired to complete both murals be residents of Santa Fe.
8. The Commission concludes that the condition the Applicant hire artists from Santa Fe to complete the murals at the property is carefully tailored to promote the local arts community and culture without unreasonably harming nonresidents.

ORDER

WHEREFORE, IT IS ORDERED by the Planning Commission of the City of Santa Fe that Case #2025-11753, 1802 Cerrillos Development Plan, is approved subject to the conditions of approval and technical corrections set forth in Attachment A, as modified by Planning Commission action, including the PC-added mural / public art condition.

The Development Plan shall expire in accordance with SFCC 1987 Subsection 14-2.1(F)(4)(IV)(h)(3), unless actual development of the site or off-site improvements has begun and is continued, or a time extension is granted pursuant to SFCC 1987 Section 14-2.1(B)(5)(VII).

Signature Blocks

Planning Commission Chair Date

FILED: City Clerk Date

APPROVED AS TO FORM: City Attorney / Assistant City Attorney Date

Attachment A

Conditions of Approval and Technical Corrections

- 1. Table of Conditions of Approval**
- 2. Table of Technical Corrections**
- 3. Development Review Team Compiled Comments**

Conditions of Approval & Technical Corrections

Conditions of Approval			
#	Condition of Approval	Dept. or Division	To be completed:
1	DP-100: I don't see PUD as part of your zoning on the City GIS. Please provide the PUD ordinance if located within one.	Planning	Prior to Public Hearing (COMPLETED)
2	Create a cover sheet for development plan (use page 1 of the attached template for reference on what should be included)	Planning	Prior to Public Hearing (COMPLETED)
3	Consolidate all lots of Block 2 in "The Capital Land and Townsite Co. Addition to Santa Fe NM"	Planning	Prior to Recordation
4	Consolidate Lots 13-20 of Block 3 in "The Capital Land and Townsite Co. Addition to Santa Fe NM"	Planning	Prior to Recordation
5	Provide proof of ownership of the alley in Block 3	Planning	Prior to Public Hearing (COMPLETED)
6	Provide appropriate documentation connecting Lot 1 to the rest of the Development Plan in perpetuity	Planning	Prior to Recordation
7	Edit application letters and responses to approval criteria for both applications to make sure all references are to the old code sections & change all 'CUA' references to Special Use Permit (SUP). This is because your application was received before the new code became effective.	Planning	Prior to Public Hearing (COMPLETED)
8	Sign dimensions proposed in architectural plans are too large per 14-8.10(G)(8)(a): "For C-2, SC, and I properties located within the Cerrillos Road highway corridor protection district, the following standards shall apply: For one business establishment on a legal lot of record, not more than three signs are allowed, no one of which shall exceed fifty (50) square feet in area in corridor zone one. The total allowable sign area for all three signs shall not exceed one hundred fifty (150) square feet." Revise sign sizing to meet this code criteria.	Planning	At time of Sign Permit
9	Delete list of Conditions of Approval on DP-102101 for now. I will let you know what conditions should be on there after we go to Planning Commission	Planning	Prior to Public Hearing (COMPLETED)
10	Fence around Site 2 mini storage units shall provide a visual buffer or screen and be constructed of opaque materials per SFCC 14-6.2(D)(3). Provide an elevation/detail of the proposed fencing material.	Planning	Prior to Recordation
11	Is fence 6 or 8 feet tall? DP says 6 ft and architectural plans say 8ft. Please revise to match.	Planning	Prior to Public Hearing (COMPLETED)
12	Architectural plans need to be updated to match revised building placement on Site 2 for setbacks. Site 2 setbacks are incorrectly described in "Site Plan Data" on A.101. "Side (South)" should say "Side (West)." Please also remove 15' west side setback line on drawings for site 2.	Planning	Prior to Public Hearing (COMPLETED)

Conditions of Approval			
#	Condition of Approval	Dept. or Division	To be completed:
13	Architectural plans showing the layout/number of storage units on each floor is missing in new set. Please add this back in.	Planning	Prior to Public Hearing (COMPLETED)
14	A mural is included in the architectural renderings, but not architectural elevations. Please revise to match	Planning	Prior to Public Hearing (COMPLETED)
15	Provide architectural elevations for buildings 2, 3, and 4	Planning	Prior to Public Hearing (COMPLETED)
16	Is this project planned to be built in phases? If so, provide a phasing plan.	Planning	Prior to Public Hearing (COMPLETED)
17	Please clarify 'by others' site work on plans to identify who will perform the work.	Planning	Prior to Public Hearing (COMPLETED. Applicant is to do work)
18	An approved Water Plan will be required for all new public water infrastructure and fire services.	Water Engineering	Prior to Public Hearing (COMPLETED)
19	An approved Agreement to Construct and Dedicate (ACD) will be required with the Water Division for all new public water infrastructure and fire services.	Water Engineering	Prior to Building Permit
20	A separate irrigation meter will be required if the total landscaped area is 1,000 square feet or greater. An approved backflow prevention device shall be installed beyond the meter on any new irrigation service.	Water Engineering	At Time of Development
21	Any re-grading of site over existing water mains shall maintain a minimum of 4 feet of cover and not exceed 5 feet of cover. Depth of existing main to be adjusted to maintain a minimum of 4 feet of cover and not exceed 5 feet of cover if site grading impacts these depth requirements.	Water Engineering	At Time of Development
22	An approved Development Water Budget including a 9.8% contingency per SFCC 14-7.7 will be required. A technical evaluation request for a Development Water Budget needs to be submitted to the City Water Division for review.	Water Resources	Prior to Public Hearing (COMPLETED)
23	An applicant may choose to develop a detailed, alternative Development Water Budget for the development project supported by <u>reliable data</u> that demonstrates that the anticipated annual water use will be less than if based on the Water Division's standard formulas per SFCC 14-7.7(D) (2).	Water Resources	Prior to Public Hearing (COMPLETED)
24	An Agreement to Construct and Dedicate (ACD) from the Water Division will be required for all new public water infrastructure or fire services. An approved Development Water Budget, including Landscape Irrigation Budget and a 9.8% Contingency is required prior to processing the ACD.	Water Resources	Prior to Building Permit
25	Each lot shall be served by separate water service at the time of development.	Water Resources	Prior to Building Permit

Conditions of Approval			
#	Condition of Approval	Dept. or Division	To be completed:
26	An agreement for metered service (AMS) will be required to install new services, including water offset fees.	Water Resources	Prior to Building Permit
27	Developer should provide certification that its engineers have provided NMDOT project development engineers opportunity to review site plans in accordance with the departments proposed redesign and reconstruction of Cerrillos Rd.	Traffic	Prior to Public Hearing (COMPLETED)
28	A detailed signage and striping plan for all required on-street signage, pavement markings, and any related regulatory/directional sign shall be submitted for review and approval by Public Works	Traffic	Prior to Building Permit
29	No further review required unless a future proposed utility plan exceeds 550-linear feet of utility lines	Archaeology	-
30	Shall reference correct year of IFC (C-100) and Appendix B for average-sprinkler reduction (FC-101)	Fire	Prior to Public Hearing (COMPLETED)
31	The public right-of-way will be constructed in accordance with the approved Public Works project S100681 (NM 14/Cerrillos Road), including a 5-foot stamped concrete buffer and a full 6-foot sidewalk.	Parks and Open Space	Prior to Public Hearing (COMPLETED)
32	Provide discussion in the drainage narrative of how the stormwater will be directed to the ponding areas. Include how water will be directed from roof drains.	Terrain Management	Prior to Recordation
33	Provide flow directional arrows on grading and drainage plan especially showing flow from roof drains to ponding areas . Ponding area volumes must be established for each ponding area showing dimensions. Label each pond with a pond number and the volume . Depressed areas for all landscaped areas are encouraged, but the official ponding areas for the required storage must be verifiable in the future. The conveyance of water to those areas must be shown on the plans and verifiable in the future. Show curb cuts for water to enter landscaped areas.	Terrain Management	Prior to Recordation
34	Include pond sections and show how ponds will overflow.	Terrain Management	Prior to Recordation
35	Sidewalk should align with Cerrillos Road Plan specs and city street design standards which require 5' landscape buffer between street and pedestrian path (See comments on plans for detail). Sidewalk width should be at least 6', but also made as wide as possible on Cerrillos. FHWA and AASHTO guidance support a separated bike facility given the vehicle speeds and volumes here. By expanding the sidewalk to the minimum for a shared use path (10') this would better align with federal guidance.	MPO	Prior to Public Hearing (COMPLETED)

Conditions of Approval			
#	Condition of Approval	Dept. or Division	To be completed:
36	Driveway conflicts on NW Fourth street should be minimized by consolidating driveways or minimizing the driveway width to ensure one-way circulation	MPO	Prior to Public Hearing (COMPLETED)
37	Ensure safe pedestrian access to site from each street frontage and sidewalk and also between all 3 parcels. How are conflicts between cars and pedestrians crossing 4th from parking on site 1 to site 2 going to be managed and minimized? Crosswalk should be setback from driveways at least 20 ft.	MPO	Prior to Public Hearing (COMPLETED)
38	Pedestrian Access Routes should aim for right angles. Skewed angles can be challenging for wheelchairs to maneuver safely. Minimize awkward angles and ensure there is sufficient landing pad for maneuvering	MPO	Prior to Public Hearing (COMPLETED)
39	Provide conversations with NMDOT so City staff can better understand NMDOT recommendations for this project.	MPO	Prior to Public Hearing (COMPLETED)
40	Shall comply with the most currently adopted International Fire Code (IFC) and adopted city ordinances upon building permit approval	Fire	Prior to Building Permit
41	Shall maintain access to apparatus access roads in and around construction sites in compliance with IFC 2021, Chapter 33 Fire Safety, and During Construction and Demolition.	Fire	During Construction
42	Shall confirm construction timing coordination with NMDOT.	Planning	Prior to Building Permit
43	The applicant will provide a full Construction Staging Plan for Land Use approval. Given the proximity of the proposed worksite to high-traffic areas, a controlled construction plan is required prior to recordation.	Planning	Prior to Recordation
44	Prior to recordation of the Development Plan, the applicant shall submit a mural / public art plan for review and approval by the Land Use Department. The mural / public art plan shall include: (1) reproduction of the existing Empire Builders mural on the exterior of the building in a location visible to the public; (2) a second exterior mural in a location visible to the public, with the location to be agreed upon by the applicant and staff; and (3) confirmation that the artist or artists hired to complete both murals will be residents of Santa Fe. The mural / public art plan shall identify mural locations, dimensions, artist(s), materials, and maintenance responsibility. Final implementation shall be consistent with the approved Development Plan, applicable conditions of approval, and applicable City requirements.	Planning Commission / Land Use Department	Prior to Recordation

Technical Corrections			
#	Technical Correction	Dept. or	To be completed:

		Division	
1	DP-100: Existing conditions plan should be line work, not an image (Images get difficult to read when copying)	Planning	Prior to Public Hearing (COMPLETED)
2	DP-100 – Overlays: Please also list Suburban Archaeological Review District	Planning	Prior to Public Hearing (COMPLETED)
3	DP-100 – Lot Size: please break the lot size into the 4 existing lots for clarity	Planning	Prior to Public Hearing (COMPLETED)
4	DP-100 – Legal Lot Information: Add book/page information for lots. Add Legal Lot information for 1750 Cerrillos Rd.	Planning	Prior to Public Hearing (COMPLETED)
5	DP-100: Delineate 200ft buffer around property	Planning	Prior to Public Hearing (COMPLETED)
6	DP-101: Cerrillos Rd is spelled wrong (also spelled wrong on other sheets)	Planning	Prior to Public Hearing (COMPLETED)
7	DP-101: Zoning description is incorrect	Planning	Prior to Public Hearing (COMPLETED)
8	DP-101: Clearly depict Site 1 and Site 2 on drawing	Planning	Prior to Public Hearing (COMPLETED)

Technical Corrections			
#	Technical Correction	Dept. or Division	To be completed:
9	DP-101: Legal Description and Site Area – description of 1750 Cerrillos Rd is missing from both of these sections	Planning	Prior to Public Hearing (COMPLETED)
10	DP-101: Building Height – building height must be included	Planning	Prior to Public Hearing (COMPLETED)
11	DP-101: Open Space – incorrect code citation. This code references South Highway Corridor Protection District, not Cerrillos Rd Overlay. Change to SFCC 14-7.5(D)	Planning	Prior to Public Hearing (COMPLETED)
12	Add descriptions/dimensions of all open space provided (might be easier to visually depict on a new sheet)	Planning	Prior to Public Hearing (COMPLETED)
13	DP-101: Add clarification on the calculation of number of parking spaces	Planning	Prior to Public Hearing (COMPLETED)
14	Add Case #2025-11753 & 11756 to all relevant sheets	Planning	Prior to Public Hearing (COMPLETED)
15	Add a column to architectural points analysis explaining how you met each point designation.	Planning	Prior to Public Hearing (COMPLETED)
16	DP-103: Parking – delete “parks & open space – as determined by the city”	Planning	Prior to Public Hearing (COMPLETED)
17	DP-101: Fill in floodplain note #17	Planning	Prior to Public Hearing (COMPLETED)
18	Applicant and City Water staff will work together to address main looping during the review of the water plan (see attached memo)	Water Engineering	Prior to water plan approval (COMPLETED)
19	Existing Drainage Plan (sheet C-302) has a drainage calc. table labeled “post-development stormwater calculations. Verify this the correct table for this sheet and relabel to pre-development stormwater calcs. Also question whether this is correct table, as the existing volumes are less than post-development volumes on next sheet, however site plan reduces impervious area	Parks and Open Space	Prior to Recordation
20	Please label each pond, provide drawings for each pond including inlet & outlet structures, storage volumes, location of sediment measuring post, and landscape materials. Ensure grading notes reflect plan.	Parks and Open Space	Prior to Recordation
21	Planting Note #1 (LP-501): This note should be revised to reference the City of Santa Fe landscape requirements rather than Doña Ana County landscape requirements.	Parks and Open Space	Prior to Recordation
22	Fencing oddly crosses retention pond (C-201)	Parks and Open Space	-
23	The dog park should be designed and constructed to capture the first flush of surface runoff in order to reduce water quality impacts. As currently depicted, the grading plan does not direct runoff in a manner that would enable the pond to function as intended (sheet -304)	Parks and Open Space	Prior to Recordation

Technical Corrections			
#	Technical Correction	Dept. or Division	To be completed:
24	Parking lot traffic islands appear to have 60 square feet of permeable surface. Code 14-8.4(H)(4)(IV) requires 90 square feet of permeable surface.	Landscaping	Prior to Recordation
25	Austrian pine at the main building at the southwest parking space is located too close to the curb and gutter. This tree at that location will cause curb and gutter and parking lot damage. Adjust tree to the center of the landscape area or choose a better size tree for this location. Entrance trees into the parking area should be centered in the planters to prevent future parking lot, curb, and gutter damage.	Landscaping	Prior to Recordation
26	The Landscape is bunched into the property boundaries, extend the Landscape to the perimeters of the proposed sidewalks at Berry Ave and Fifth St. Review for easements, before plant material and irrigation location placements.	Landscaping	Prior to Recordation
27	Provide shrubs to the landscape for parking lot screening at Cerrillos Road, Fourth St., and Berry Ave. per city code 14-8.4(H)(3).	Landscaping	Prior to Recordation
28	Provide frontage landscaping for CRHC zone 1 as required pre code 14-5.5 - HIGHWAY CORRIDOR PROTECTION DISTRICTS (B) CRHC Cerrillos Road Highway Corridor Protection District at the northeast parking lot.	Landscaping	Prior to Recordation
29	Provide shrub planting within the planter bed along the boundary wall at the northeast parking lot.	Landscaping	Prior to Recordation
30	Review plantings at traffic sight triangles for height compliance for a 3-8-foot visibility window.	Landscaping	Prior to Recordation
31	Utilize organic mulch within the landscape particularly at mass plantings. Provide wood mulch shredded or chipped 4-inches in depth without weed fabric.	Landscaping	Prior to Recordation
32	Provide fencing information and detail.	Landscaping	Prior to Recordation
33	Irrigation system design is incomplete. Provide the remaining zone layouts.	Landscaping	Prior to Recordation
34	Provide the correct details from the LIDS manual for the Manual Drain, Backflow Preventer.	Landscaping	Prior to Recordation
35	Provide a water budget for the first three months of the Turf establishment period.	Landscaping	Prior to Recordation
36	Turf grass sod or turf grass seed mixes installed within the city limits shall contain no more than twenty-five percent Kentucky Bluegrass.	Landscaping	Prior to Recordation
37	Photometrics do not meet Code requirements. See Article 14-8.6(D)(2) and revise for compliance. 74-points exceed the maximum illumination for any point. (Highlighted numbers attached are out of compliance)	Landscaping	Prior to Recordation
38	Include attached notes	Terrain Management	Prior to Recordation

Technical Corrections			
#	Technical Correction	Dept. or Division	To be completed:
		ent	
39	Current analysis shows a violation: an increase in peak stormwater flows is not allowed per city code 14-8.2(D)(4)(b)(i)	Terrain Management	Prior to Recordation
40	Include 2 additional drainage analysis for the 1-year, 1-hour, and 100-year, 24-hour, required to show compliance for any frequency storm event up to the 100-year, 24-hour. Please See city code 14-8.2(D)(4)(b)(i) "except as otherwise required by this Section <u>14-8.2</u> , the stormwater runoff peak flow rate discharged from a site shall not exceed pre- <u>development</u> conditions for any frequency storm event up to the one percent chance, twenty-four-hour storm event at each discharge point;"	Terrain Management	Prior to Recordation
41	Show on the drainage and terrain management plans: roof drain pattern and downspouts/canales, and means of stormwater conveyance (swales, catch basins, storm drainpipe, curb cuts, etc.) to stormwater control features	Terrain Management	Prior to Recordation
42	Please provide more information on how runoff Coefficients were selected from the NMDOT Manual, include the figure/table number, cover type, % impervious cover, etc.	Terrain Management	Prior to Recordation
43	Please Verify how the runoff volumes are calculated, The Rational Method is not an acceptable method to calculate runoff volume per NMDOT Drainage Design Manual, July 2018, section 403, Limitations: "Runoff volumes may not be computed with the Rational Formula Method or Modified Rational Formula Method (not included in this Drainage Design Manual".	Terrain Management	Prior to Recordation
44	Include an acceptable runoff volume analysis for stormwater quality volume for a 0.68-inch (90% percentile, or roughly the 1-year, 1-hour storm) event. This runoff volume must be contained/retained on site, to reduce pollution per EPA NPDES MS4, see city code 14-8.2(A)(13). This volume must infiltrate in 24 hours per city code 14-8.2(D)(4)(c)(ii), It is encouraged that the Stormwater quality volume design is incorporated into the landscape, to also comply with landscape code rainwater harvesting requirements 14-8.4(E)(1) "The <u>landscaping</u> plan shall include <u>passive water harvesting</u> for <u>landscape</u> irrigation purposes as a minimum requirement" the minimum recess depth for retention and water harvesting areas is 6 inches.	Terrain Management	Prior to Recordation



Michael J. Garcia, Mayor

February 27, 2026

Case # 2025-11753 & 2025-11756

Lisa Martinez
B Constructiv LLC
3201-C Zafarano Dr #111
Santa Fe, NM 87507

Joseph Karnes
Sommer Karnes & Associates, LLP
125 Lincoln Ave #221
Santa Fe, NM 87501

Dear Lisa & Joseph,

Your application was received on December 19, 2025 for:

Case #2025-11753 & 2025-11756. 1750 and 1802 Cerrillos Rd, 3 RD Berry Ave, and 1361 Fourth St Development Plan and Special Use Permit. B Constructiv LLC and Sommer Karnes & Associates LLP, "Agents" for Amatren, LLC, Owner and Applicant ("Applicant"), request approval of a Development Plan and Special Use Permit to redevelop the properties listed above into a self-storage facility with community office and gathering spaces. The property is zoned C-2 (General Commercial) and is within the Suburban Archaeological Review District. (Alexa Hempel, Case Manager, anhempel@santafenm.gov).

This application has been reviewed by Planning Division staff (Staff) and the City's Development Review Team (DRT). Attached are the initial DRT review comments including conditions of approval and technical corrections. Additional corrections may follow throughout the development review and permitting processes. I would like to highlight and summarize the following key items. **Those items in green font must be completed prior to planning commission.** Items in black will need to be completed at later dates (refer to attachments), but it is in your best interest to begin working on them sooner rather than later.

City Council

Alma G. Castro, District 1
Patricia Feghali, District 1

Elizabeth "Liz" Barrett, District 2
Paul C. Bustamante, District 2

Lee Garcia, Mayor Pro Tem, District 3
Pilar F.H. Faulkner, District 3

Jamie Cassutt, District 4
Amanda Chavez, District 4

A. Initial Staff & DRT Review Summary

Your development plan and special use permit applications have been reviewed by the DRT and the following necessary revisions have been identified:

1. Planning

- a. DP-100: I don't see PUD as part of your zoning on the City GIS. Please provide the PUD ordinance if located within one.
- b. Create a cover sheet for development plan (use page 1 of the attached template for reference on what should be included)
- c. Sign dimensions proposed in architectural plans are too large per 14-8.10(G)(8)(a): "For C-2, SC, and I properties located within the Cerrillos Road highway corridor protection district, the following standards shall apply: For one business establishment on a legal lot of record, not more than three signs are allowed, no one of which shall exceed fifty (50) square feet in area in corridor zone one. The total allowable sign area for all three signs shall not exceed one hundred fifty (150) square feet." Revise sign sizing to meet this code criteria
- d. Consolidate all lots of Block 2 in "The Capital Land and Townsite Co. Addition to Santa Fe NM"
- e. Consolidate Lots 13-20 of Block 3 in "The Capital Land and Townsite Co. Addition to Santa Fe NM"
- f. Provide proof of ownership of the alley in Block 3
- g. Provide appropriate documentation connecting Lot 1 to the rest of the Development Plan in perpetuity
- h. Edit application letters and responses to approval criteria for both applications to make sure all references are to the old code sections & change all 'CUA' references to Special Use Permit (SUP). This is because your application was received before the new code became effective.
- i. DP-100: Existing conditions plan should be line work, not an image (Images get difficult to read when copying)
- j. DP-100 - Overlays: Please also list Suburban Archaeological Review District
- k. DP-100 - Lot Size: please break the lot size into the 4 existing lots for clarity
- l. DP-100 - Legal Lot Information: Add book/page information for lots. Add Legal Lot information for 1750 Cerrillos Rd.
- m. DP-100: Delineate 200ft buffer around property
- n. DP-101: Cerrillos Rd is spelled wrong (also spelled wrong on other sheets)
- o. DP-101: Zoning description is incorrect
- p. DP-101: Clearly depict Site 1 and Site 2 on drawing
- q. DP-101: Legal Description and Site Area - description of 1750 Cerrillos Rd is missing from both of these sections
- r. DP-101: Building Height - building height must be included
- s. DP-101: Open Space - incorrect code citation. This code references South Highway Corridor Protection District, not Cerrillos Rd Overlay

- t. Add descriptions/dimensions of all open space provided (might be easier to visually depict on a new sheet)
 - u. DP-101: Add clarification on the calculation of number of parking spaces
 - v. Add Case #2025-11753 & 11756 to all relevant sheets
 - w. Add a column to architectural points analysis explaining how you met each point designation
- 2. **Fire**
 - a. Shall reference correct year of (IFC) (C-100) and Appendix B for average-sprinkler reduction (FC-101)
- 3. **Archaeology**
 - a. No further review is required unless a future proposed utility plan exceeds 550-linear feet of utility lines
- 4. **ADA**
 - a. Must remove and replace all damaged existing sidewalks.
 - b. Must relocate northeast fire hydrant out of sidewalk path on Cerrillos Rd.
 - c. Must remove and replace all existing, abandoned curb cuts/drive entrances and replace with barrier curb. SFCC 23-3.5
 - d. ADA Parking stalls and aisles must be added to east parking lot for buildings 2, 3, for the offices and restrooms.
 - e. Remove City of Albuquerque Civil Details Sheets # C-506, and # C-507 and add NMDOT Series 608 in place.
 - f. Must bring Existing Corner curb ramps to ADA compliance.
- 5. **MPO**
 - a. Sidewalk should align with Cerrillos Road Plan specs and city street design standards which require 5' landscape buffer between street and pedestrian path (See comments on plans for detail). Sidewalk width should be at least 6', but also made as wide as possible on Cerrillos. FHWA and AASHTO guidance support a separated bike facility given the vehicle speeds and volumes here. By expanding the sidewalk to the minimum for a shared use path (10') this would better align with federal guidance.
 - b. Driveway conflicts on NW Fourth street should be minimized by consolidating driveways or minimizing the driveway width to ensure one-way circulation
 - c. Ensure safe pedestrian access to site from each street frontage and sidewalk and also between all 3 parcels. How are conflicts between cars and pedestrians crossing 4th from parking on site 1 to site 2 going to be managed and minimized?
 - d. Pedestrian Access Routes should aim for right angles. Skewed angles can be challenging for wheelchairs to maneuver safely. Minimize awkward angles and ensure there is sufficient landing pad for maneuvering
 - e. Make changes as shown in redlines on plans (attached)
- 6. **Traffic**
 - a. See attached letter from Wilson & Company dated 2/20/26 certifying its concurrence with the developer's "Initial Traffic Assessment" (ITA).

- b. Developer should provide certification that its engineers have provided NMDOT project development engineers opportunity to review site plans in accordance with the department's proposed redesign and reconstruction of Cerrillos Rd
- c. A detailed signage and striping plan for all required on-street signage, pavement markings, and any related regulatory/directional signs shall be submitted for review and approval by Public Works

7. Parks & Open Space

- a. The public right-of-way will be constructed in accordance with the approved Public Works project S100681 (NM 14/Cerrillos Road), including a 5-foot stamped concrete buffer and a full 6-foot sidewalk.
- b. Existing Drainage Plan (sheet C-302) has a drainage calc. table labeled "post-development stormwater calculations. Verify this the correct table for this sheet and relabel to pre-development stormwater calcs. Also question whether this is correct table, as the existing volumes are less than post-development volumes on next sheet, however site plan reduces impervious area.
- c. Please label each pond, provide drawings for each pond including inlet & outlet structures, storage volumes, location of sediment measuring post, and landscape materials. Ensure grading notes reflect plan.
- d. Planting Note #1 (LP-501): This note should be revised to reference the City of Santa Fe landscape requirements rather than Doña Ana County landscape requirements.
- e. Fencing oddly crosses retention pond (C-201)
- f. The dog park should be designed and constructed to capture the first flush of surface runoff in order to reduce water quality impacts. As currently depicted, the grading plan does not direct runoff in a manner that would enable the pond to function as intended (sheet -304)

8. Terrain Management/Engineering

- a. Provide discussion in the drainage narrative of how the stormwater will be directed to the ponding areas. Include how water will be directed from roof drains.
- b. Provide flow directional arrows on grading and drainage plan especially showing flow from roof drains to ponding areas. Ponding area volumes must be established for each ponding area showing dimensions. Label each pond with a pond number and the volume. Depressed areas for all landscaped areas are encouraged, but the official ponding areas for the required storage must be verifiable in the future. The conveyance of water to those areas must be shown on the plans and verifiable in the future. Show curb cuts for water to enter landscaped areas.
- c. Include pond sections and show how ponds will overflow.
- d. Include attached notes.
- e. A financial guarantee will be required for all public and quasi-public infrastructure. The guarantee must be in place prior to recordation of development plan.
- f. Current analysis shows a violation: an increase in peak stormwater flows is not allowed per city code 14-8.2(D)(4)(b)(i)
- g. Include 2 additional drainage analysis for the 1-year, 1-hour, and 100-year, 24-hour, required to show compliance for any frequency storm event up to the 100-year, 24-hour. Please See city code 14-8.2(D)(4)(b)(i) "except as otherwise required by this

Section 14-8.2, the stormwater runoff peak flow rate discharged from a site shall not exceed pre- development conditions for any frequency storm event up to the one percent chance, twenty-four-hour storm event at each discharge point;"

- h. Show on the drainage and terrain management plans: roof drain pattern and downspouts/canales, and means of stormwater conveyance (swales, catch basins, storm drainpipe, curb cuts, etc.) to stormwater control features
- i. Please provide more information on how runoff Coefficients were selected from the NMDOT Manual, include the figure/table number, cover type, % impervious cover, etc.
- j. Please Verify how the runoff volumes are calculated, The Rational Method is not an acceptable method to calculate runoff volume per NMDOT Drainage Design Manual, July 2018, section 403, Limitations: "Runoff volumes may not be computed with the Rational Formula Method or Modified Rational Formula Method (not included in this Drainage Design Manual".
- k. Include an acceptable runoff volume analysis for stormwater quality volume for a 0.68-inch (90% percentile, or roughly the 1-year, 1-hour storm) event. This runoff volume must be contained/retained on site, to reduce pollution per EPA NPDES MS4, see city code 14-8.2(A)(13). This volume must infiltrate in 24 hours per city code 14-8.2(D)(4)(c)(ii), It is encouraged that the Stormwater quality volume design is incorporated into the landscape, to also comply with landscape code rainwater harvesting requirements 14-8.4(E)(1) "The landscaping plan shall include passive water harvesting for landscape irrigation purposes as a minimum requirement" the minimum recess depth for retention and water harvesting areas is 6 inches.

9. Landscaping/Irrigation/Lighting

- a. Parking lot traffic islands appear to have 60 square feet of permeable surface. Code 14-8.4(H)(4)(IV) requires 90 square feet of permeable surface.
- b. Austrian pine at the main building at the southwest parking space is located too close to the curb and gutter. This tree at that location will cause curb and gutter and parking lot damage. Adjust tree to the center of the landscape area or choose a better size tree for this location. Entrance trees into the parking area should be centered in the planters to prevent future parking lot, curb, and gutter damage.
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- d. Provide shrubs to the landscape for parking lot screening at Cerrillos Road, Fourth St., and Berry Ave. per city code 14-8.4(H)(3).
- e. Provide frontage landscaping for CRHC zone 1 as required pre code 14-5.5 - HIGHWAY CORRIDOR PROTECTION DISTRICTS (B) CRHC Cerrillos Road Highway Corridor Protection District at the northeast parking lot.
- f. Provide shrub planting within the planter bed along the boundary wall at the northeast parking lot.
- g. Review plantings at traffic sight triangles for height compliance for a 3-8-foot visibility window.

- h. Utilize organic mulch within the landscape particularly at mass plantings. Provide wood mulch shredded or chipped 4-inches in depth without weed fabric.
- i. Provide fencing information and detail.
- j. Irrigation system design is incomplete. Provide the remaining zone layouts.
- k. Provide the correct details from the LIDS manual for the Manual Drain, Backflow Preventer.
- l. Provide a water budget for the first three months of the Turf establishment period.
- m. Turf grass sod or turf grass seed mixes installed within the city limits shall contain no more than twenty-five percent Kentucky Bluegrass.
- n. Photometrics do not meet Code requirements. See Article 14-8.6(D)(2) and revise for compliance. 74-points exceed the maximum illumination for any point. (Highlighted numbers attached are out of compliance)

10. Water Engineering

- a. An approved Water Plan will be required for all new public water infrastructure and fire services.
- b. An approved Agreement to Construct and Dedicate (ACD) will be required with the Water Division for all new public water infrastructure and fire services.
- c. A separate irrigation meter will be required if the total landscaped area is 1,000 square feet or greater. An approved backflow prevention device shall be installed beyond the meter on any new irrigation service.
- d. Any re-grading of site over existing water mains shall maintain a minimum of 4 feet of cover and not exceed 5 feet of cover. Depth of existing main to be adjusted to maintain a minimum of 4 feet of cover and not exceed 5 feet of cover if site grading impacts these depth requirements
- e. Applicant and City Water staff will work together to address main looping during the review of the water plan (see attached memo)

11. Water Resources

- a. An approved Development Water Budget including a 9.8% contingency per SFCC 14-7.7 will be required. A technical evaluation request for a Development Water Budget needs to be submitted to the City Water Division for review.
- b. An applicant may choose to develop a detailed, alternative Development Water Budget for the development project supported by reliable data that demonstrates that the anticipated annual water use will be less than if based on the Water Division's standard formulas per SFCC 14-7.7(D)(2).
- c. An Agreement to Construct and Dedicate (ACD) from the Water Division will be required for all new public water infrastructure or fire services. An approved Development Water Budget, including Landscape Irrigation Budget and a 9.8% Contingency is required prior to processing the ACD.
- d. Each lot shall be served by separate water service at the time of development.
- e. An agreement for metered service (AMS) will be required to install new services, including water offset fees.

12. Wastewater

- a. Response will be sent separately

Please review all attached Staff and DRT comments, revise your submittals to address those items in green and resubmit for review. Once revised submittals are accepted, a public hearing date may be scheduled. Please let me know if you have any questions or concerns.

Thank you,

Alexa Hempel
Senior Planner, Planning and Land Use Department

Attachments:

1. Planning DRT Memo
2. Fire DRT Memo
3. Archaeology DRT Memo
4. ADA DRT Memo
5. MPO
6. Traffic DRT Memo
7. Parks & Open Space DRT Memo
8. Terrain Management/Engineering DRT memo
9. Landscaping/Irrigation/Lighting DRT Memo
10. Water Engineering DRT Memo
11. Water Resources DRT Memo
12. Wastewater DRT Memo - will be sent separately

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the 2024 *Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due
	2/9/26	2/20/26

Date: 2/10/26

DRT Member: Alexa Hempel

Dept/Div: Current Planning

Case No.: #2025-11753/11756

Case Planner: Alexa Hempel

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1. DP-100: I don't see PUD as part of your zoning on the City GIS. Please provide the PUD ordinance if located within one.	Prior to Public Hearing	
2. Create a cover sheet for development plan (use page 1 of the attached template for reference on what should be included)	Prior to Public Hearing	
3. Sign dimensions proposed in architectural plans are too large per 14-8.10(G)(8)(a): "For C-2, SC, and I properties located within the Cerrillos Road highway corridor protection district, the following standards shall apply: For one business establishment on a legal lot of record, not more than three signs are allowed, no one of which shall exceed fifty (50) square feet in area in corridor zone one. The total allowable sign area for all three signs shall not exceed one hundred fifty (150) square feet." Revise sign sizing to meet this code criteria.	At time of Sign Permit	
4. Consolidate all lots of Block 2 in "The Capital Land and Townsite Co. Addition to Santa Fe NM"	Prior to Recording Development Plan	
5. Consolidate Lots 13-20 of Block 3 in "The Capital Land and Townsite Co. Addition to Santa Fe NM"	Prior to Recording Development Plan	
6. Provide proof of ownership of the alley in Block 3	Prior to Planning Commission	
7. Provide appropriate documentation connecting Lot 1 to the rest of the Development Plan in perpetuity	Prior to Recording Development Plan	
8. Edit application letters and responses to approval criteria for both applications to make sure all references are to the old code sections & change all 'CUA' references to Special Use Permit (SUP). This is because your application was received before the new code became	Prior to Public Hearing	

effective.		
Technical Corrections:	Must be completed by:	Applicant response**:
1. DP-100: Existing conditions plan should be line work, not an image (Images get difficult to read when copying)	Prior to Public Hearing	
2. DP-100 – Overlays: Please also list Suburban Archaeological Review District	Prior to Public Hearing	
3. DP-100 – Lot Size: please break the lot size into the 4 existing lots for clarity	Prior to Public Hearing	
4. DP-100 – Legal Lot Information: Add book/page information for lots. Add Legal Lot information for 1750 Cerrillos Rd.	Prior to Public Hearing	
5. DP-100: Delineate 200ft buffer around property	Prior to Public Hearing	
6. DP-101: Cerrillos Rd is spelled wrong (also spelled wrong on other sheets)	Prior to Public Hearing	
7. DP-101: Zoning description is incorrect	Prior to Public Hearing	
8. DP-101: Clearly depict Site 1 and Site 2 on drawing	Prior to Public Hearing	
9. DP-101: Legal Description and Site Area – description of 1750 Cerrillos Rd is missing from both of these sections	Prior to Public Hearing	
10. DP-101: Building Height – building height must be included	Prior to Public Hearing	
11. DP-101: Open Space – incorrect code citation. This code references South Highway Corridor Protection District, not Cerrillos Rd Overlay	Prior to Public Hearing	
12. Add descriptions/dimensions of all open space provided (might be easier to visually depict on a new sheet)	Prior to Public Hearing	
13. DP-101: Add clarification on the calculation of number of parking spaces	Prior to Public Hearing	
14. Add Case #2025-11753 & 11756 to all relevant sheets	Prior to Public Hearing	
15. Add a column to architectural points analysis explaining how you met each point designation.	Prior to Public Hearing	

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]

2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

PROJECT NAME

DEVELOPMENT PLAN

City Jurisdiction including Section, Township and Range

CASE #

CITY OF SANTA FE APPROVALS

Approval by Santa Fe Planning Commission at their meeting of _____, 20 ____, as Case No. _____.

Planning Commission Chairperson Date

Planning Commission Secretary Date

Approved by the City of Santa Fe Land Use Department:

City Planner Date

City Engineer of Land Use Date

NOTARIZED STORMWATER AGREEMENT

STORMWATER AGREEMENT: PROPERTY OWNERS(S) HEREBY AGREE THAT ALL STORMWATER EASEMENTS AND ANY OTHER DRAINAGE AND STORMWATER MANAGEMENT IMPROVEMENTS ARE ON PRIVATE PROPERTY AND WILL BE MAINTAINED AND KEPT FULLY FUNCTIONAL AS ORIGINALLY DESIGNED AND CONSTRUCTED WITHIN PRIVATE PROPERTY BOUNDATIES BY THE PROPERTY OWNER AND SUBSEQUENT HEIRS, ASSIGNS, AND FUTURE OWNERS. THE CITY IS HEREBY GRANTED THE FOLLOWING: (1) ACCESS FOR INSPECTION OF SAID IMPROVEMENTS; (2) IN THE EVENT OF DRAINAGE AND STORMWATER MANAGEMENT IMPROVEMENT MAINTENANCE DEFICIENCY AND AFTER TEN (10) DAYS WRITTEN NOTICE TO THE REPECTIVE PROPERTY OWNER, TO ENTER ENTER AND RETORE FULL FUNCTIONAL CAPACTIY OF THE DRAINAGE AND STORMWATER MANAGEMENT IMPROVEMENTS; AND, (3) TO LIEN THE PROPERTY FOR BOTH DIRECT AND INDIRECT COSTS ASSOCIATED WITH SUCH WORK. BY SIGNATURE AFFIXED TO THIS INSTRUMENT, THE PROPERTY OWNER(S) APPROVE AND AGREE THAT THIS AGREEMENT IS BINDING PERPETUALLY, RUNNING WITH THE LAND ON PRESENT AND FUTURE OWNERS, HEIRS, AND ASSIGNS.

AFFIDAVIT

KNOW ALL PERSONS BY THESE PRESENTS THAT THE UNDERSIGNED OWNERS HAVE CAUSED THIS FINAL DEVELOPMENT PLAN TO BE PREPARED. ALL THAT APPEARS ON THIS PLAN IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE OWNER.

[OWNER]
THE FOREGOING WAS SWORN, ACKNOWLEDGED AND SUBSCRIBED BEFORE ME BY _____ THIS ____ DAY OF _____, 20____.

NOTARY PUBLIC

MY COMMISSION EXPIRES

OWNER'S PRINTED NAME

OWNER'S SIGNATURE / DATE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS DAY OF _____, 20 ____ (OR EQUAL).

NOTARY PUBLIC MY COMMISSION EXPIRES

CITY OF SANTA FE DRAINAGE NOTES:

1. NO VARIANCES ARE APPROVED FOR THIS DEVELOPMENT PLAN. THE CITY CODE AND APPLICATION CHAPTERS SHALL GOVERN AND APPLY TO THIS DEVELOPMENT PLAN IN ITS ENTIRETY.
2. CITY OF SANTA FE DRAINAGE:
- 2.1. SUBJECT TO THE APPROVAL OF THE CITY OF SANTA FE PERMIT AND DEVELOPMENT REVIEW DIVISION STAFF, STORM DRAINAGE AND EROSION SEDIMENT CONTROL IMPROVEMENTS SHALL BE EXECUTED IN CONJUNCTION WITH THE CONSTRUCTION OF EACH SEGMENT OF ROADS AND UTILITIES. THESE IMPROVEMENTS SHALL BE COMPLETED AND INSPECTED PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- 2.2. MAINTENANCE OF PRIVATE DRAINAGE EASEMENTS AND DRAINAGE FACILITIES IS THE RESPONSIBILITY OF THE OWNER. THE CITY OF SANTA E IS HEREBY GRANTED THE RIGHT TO ACCESS AND INSPECT THE EASEMENT AND DRAINAGE FACILITIES AT THE DISCRETION OF PERSONS OR PROPERTY RESULTING FROM THE CITY'S REASONABLE EXERCISE TO THEIR ACCESS AND INSPECTION RIGHTS.

SHEET INDEX:

- DP-100 DEVELOPMENT PLAN COVER SHEET
- DP-101 DEVELOPMENT PLAN NOTES AND CONDITIONS OF APPROVAL
- DP-102 EXISTING CONDITIONS PLAN
- DP-103 PROPOSED DEVELOPMENT SITE PLAN

CASE #:

2025-010010

ADDRESS:

SHEET NAME:

DEVELOPMENT PLAN

COVER SHEET

SHEET #:

DP-100

SHEET # ____ OF ____

OF SANTA FE } SS
STATE OF NEW MEXICO

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED AND RECORDED ON THIS ____ DAY OF _____, 20__, AT _____ O'CLOCK ____ M, AND WAS DULY RECORDED IN BOOK ____ PAGE OF THE RECORDS OF SANTA FE COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE
KATHARINE E. CLARK
COUNTY CLERK, SANTA FE COUNTY

DEPUTY

OWNER / DEVELOPER:

ABC HOLDINGS, LLC
1254 Easy Street
Anywhere, NM 87654

SURVEYOR:

INC Surveys,
LLC 432 Early
Street
Anywhere, NM 87654

PLANNER:

Planning Expediting
234 Everest Street
Anywhere, NM 87654

ARCHITECT:

XYZ Architecture
1234 Best Street
Anywhere, NM 87654

LANDSCAPE:

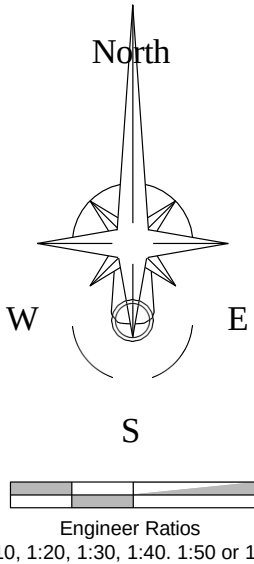
Evergreen
Landscape 12 Peony
Street
Anywhere, NM 87654

CIVIL ENG:

Civil Engineering
25 Transect
Street

MEP ENGINEER:

MEP Engineering, Inc
52 Design Street
Anywhere, NM 87654



VICINITY MAP

LINETYPE LEGEND

- PROPERTY LINE
- ROW LINE
- EASEMENT
- SETBACKS

PROJECT NAME

CONDITIONS OF APPROVAL

CITY OF SANTA FE NOTES

1. COMPLIANCE WITH GUNNISON'S PRAIRIE DOG ORDINANCE SHALL BE COMPLETED PRIOR TO GRADING OPERATIONS.
2. FENCES, WALLS OR OTHER OBSTRUCTIONS SHALL NOT BE PLACED OR CONSTRUCTED ACROSS PUBLIC SANITARY SEWER EASEMENTS.
3. UTILITY EXPANSION CHARGES SHALL BE PAID AT THE TIME OF BUILDING PERMIT APPLICATION FOR EACH LOT. CONTACT THE CITY OF SANTA FE PERMIT AND DEVELOPMENT REVIEW DIVISION TO PAY THESE CHARGES.
4. EACH LOT SHALL BE SERVED THROUGH A SEPARATE SEWER AND WATER SERVICE.
5. ALL PROPOSED CHANGES TO THE APPROVED IMPROVEMENT PLANS SHALL RECEIVE PRIOR APPROVAL BY THE CITY OF SANTA FE LAND USE DEPARTMENT.
6. COMPLY WITH THE CURRENT COSF WATER CONSERVATION STAGE.
7. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONSOF COSF ORDINANCE NO. 2008-02 (IMPACT FEES).
8. PROPERTY DEVELOPMENT, BOTH PUBLIC AND PRIVATE OWNERSHIP, SHALL COMPLY WITH THE COSF ORDINACNCE NO. 2002-20 (TERRAIN AND STORMWATER MANAGEMENT) AT THE TIME OF BUILDING PERMIT APPLICATION.
9. BUILDING SETBACKS SHALL APPLY TO ALL PERMANENT STRUCTURES, INCLUDING ACCESSORY STRUCTURES.
10. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCC 1987 AND SUBSEQUENT AMENDMENT.
11. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH APPLICABLE CITY OF SANTA FE ORDINACNCE ADOPTED PRIOR TO FINAL PLAT RECORDING WITH THE COUNTY CLERK OR SUBMITTAL WITH BUILDING PERMIT APPLICATION THAT MODIFIES ANY PROVISIONS OF REQUIREMENTS CALLED FOR IN CHAPTER 14, LAND DEVELOPMENT CODE, SFCC 1987 AND SUBSEQUENTAMENDMENTS.
12. PROPERTY DEVELOPMENT IS SUBJECT TO THE PROVISIONS OF SECTION 14-8 4(F) (5). "PLANT MATERIAL STANDARDS", WHEREIN PRESERVATION OF SIGNIFICANT TREES IS REQUIRED.
13. FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED THROUGHOUT ALL DEVELOPMENT CONSTRUCTION PHASES AS PER IFC14-19.1
14. AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE AS PER IFC 14-12.1.
15. PERMANENT TRAFFIC CONTROL DEVICES SHALL BE INSTALLED PER APPROVED.
16. ALL IMPROVEMENTS NOT MAINTAINED AND OPERATED BY PUBLIC UTILITIES OR GOVERNMENTAL BODIES WHICH AFFECT THE GENERAL WELL BEING OF THIS DEVELOPMENT WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
17. THIS PARCEL LIES WITHIN ZONE "X" AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS PER F.I.R.M. PANEL# _____ DATED _____.
18. FURTHER SUBDIVISION OF LOTS IS PROHIBITED.
19. THE LOTS SHOWN HEREON ARE SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR _____ HOMEOWNERS' ASSOCIATION, INC. RECORDED IN THE RECORDS OF SANTA FE COUNTY, NEW MEXICO ON THE _____ DAY OF _____, 2025 AS NSTRUMENT # _____.
20. THIS DEVELOPMENT SHALL COMPLY WITH THE MOST CURRENT REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT (ADA).

DRAINAGE FACILITIES DESIGN NOTE

ALL STORM WATER DETENTION / RETENTION AREAS SHALL DRAIN WITHIN 24 HOURS OF A STORM EVENT AS PER ARTICLE 14-8.2(D)(4)(c)(i)

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

A. PUBLIC SERVICE COMPANY OF NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATE FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

B. NEW MEXICO GAS COMPANY (NMGCO) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

C. LUMEN TECHNOLOGIES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

D. XFINITY &/OR LUMEN TECHNOLOGIES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

E. CITY OF SANTA FE (PUBLIC WATER AND PRIVATE SEWER) FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF LINES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE SERVICES TO PUBLIC UTILITY EASEMENTS.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE,RELOCATE, WITHIN THE EASEMENT, CHANGE, REMOVE, REPLACE, MODIFY, RE-NEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER THE EASEMENTS, WITH THE OUGH AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANES OF GRANTEE OR THE PUBLIC SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT-OF-WAY AND EASEMENT TO EXPAND SERVICE TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS, OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SHED, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERCTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREIN.

EASEMENTS FOR ELECTRIC, TRANSFORMERS / SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET FROM THE TRANSFORMER / SWITCHGEARS AND FIVE (5) FEET ON EITHER SIDE.

A. QUEST CORP., FOR CENTURY LINK FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTAL AND CLOSURES. THIS PLAT HAS BEEN APPROVED FOR EASEMENT PURPOSES ONLY. THE GRANTEES OF THIS PLAT DOES NOT IN ANY WAY GUARANTEE TELEPHONE SERVICES TO THE DEVELOPMENT.

UTILITY CLAIMER:
IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGCO) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGCO DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SPECIFICALLY DESCRIBED AND SHOWN ON THIS PLAT.

DUST CONTROL

ALL ON-SITE SOIL DISTURBING CONSTRUCTION ACTIVITIES SHALL BE ADDRESSED AND PROVIDE MEASURES TO MITIGATE OR CONTROL DUST FROM BEING TRANSPORTED OFFSITE AND POLLUTING NEIGHBORING PROPERTIES. ANY PERSON, OWNER, CONTRACTOR OR SUBCONTRACTOR WHO CONDUCTS EARTHMOVING AND/OR DUST GENERATING ACTIVITIES IS RESPONSIBLE FOR IMPLEMENTING BEST MANAGEMENT PRACTICES (BMPs) IN ORDER TO MITIGATE OFF-PROPERTY TRANSPORT OF FUGITIVE DUST EMISSIONS. A PLAN, A STORMWATER PREVENTION PLAN (SWPP) WHEN APPLICABLE, STING BEST MANAGEMENT PRACTICES (BMPs), SHALL BE PROVIDED TO THE CITY ENGINEER, OR THEIR DESIGNER, FOR REVIEW AND APPROVAL. THE APPROVED BMPs SHALL BE APPLIED TO THE GRADED AND/OR DISTURBED SOIL IN ORDER TO STABILIZE THE SITE. THE FINAL BMP SHALL ADDRESS HOW THE CONTRACTOR WILL MINIMIZE THE AMOUNT OF DISTURBED SOIL, AND HOW THE CONTRACTOR WILL STABILIZE THE DISTURBED SURFACE AREA EXPOSED TO WIND OR VEHICLE TRAFFIC DURING CONSTRUCTION.

CONDITIONS OF APPROVAL

WATER DIVISION:

1. AN APPROVED WATER PLAN WILL BE REQUIRED FOR ALL NEW PUBLIC WATER INFRASTRUCTURE AND FIRE SERVICES.
2. AN APPROVED AGREEMENT TO CONSTRUCT AND DEDICATE (ACD) WILL BE REQUIRED FOR NEW PUBLIC WATER INFRASTRUCTURE AND FIRE SERVICES
3. ANY RE-GRADING OF SITE OVER EXISTING WATER MAINS SHALL MAINTAIN A MINIMUM OF 4 FEET OF COVER AND NOT EXCEED 5 FEET OF COVER. DEPTH OF EXISTING MAIN TO BE ADJUSTED TO MAINTAIN A MINIMUM OF 4 FEET OF COVER AND NOT EXCEED 5 FEET OF COVER IF SITE GRADING IMPACTS THESE DEPTH REQUIREMENTS.
4. A SEPARATE IRRIGATION METER WILL BE REQUIRED IF THE TOTAL LANDSCAPED AREA IS 1,000 SQUARE FEET OR GREATER. AN APPROVED BACKFLOW PREVENTION DEVICE SHALL ALSO BE INSTALLED BEYOND THE METER ON ANY NEW IRRIGATION SERVICE.

MPO:

1. ADD A MIDBLOCK PEDESTRIAN CROSSING OF SOUTH MEADOWS BETWEEN PRIMO COLORES AND GALLERIA GRANDE OR ANOTHER SIMILAR LOCATION.
2. REDUCE THE RIGHT TURN LANE LENGTHS FROM SOUTH MEADOWS TO AVENIDA DE LOS PRADOS AND CAMINO DEL LLANO TO A MAXIMUM OF 70 FEET.
3. COMBINE THE EXITING RIGHT AND LEFT LANES ON CAMINO DEL LLANO INTO ONE SINGULAR EXITING LANE IF THE INTERSECTION CAN STILL PERFORM WITH A LEVEL OF SERVICE OF E OR HIGHER.
4. INCREASE THE LANE WIDTHS OF THE 60' ROW SECTION TO 10'.
5. REDUCE THE RADIUS AT INTERSECTIONS WITHOUT BULB-OUTS TO THE MINIMUM SIZE THAT STILL ALLOWS VEHICLES TO TURN WITHOUT CROSSING THE CENTERLINE.
6. ADD SPEED HUMPS TO THE NORTH/SOUTH STRETCH OF CAMINO DEL LLANO, INCLUDING A RAISED CROSSWALK AT AVENIDA DE LOS PRADOS
7. ADD A CROSSWALK ACROSS CAMINO DEL LLANO FOR FUTURE RESIDENTS OF THE CONDOS TO SAFELY CROSS.
8. REDUCE THE INTERNAL DEVELOPMENT STREET SPEED LIMIT TO 20 MPH
9. MEET WITH CITY TRAFFIC ENGINEER TO DISCUSS REASONING FOR A THREE-WAY STOP AT AVENIDA DE LOS PRADOS AND CALLE CAMPO, OR MAKE IT A TWO-WAY STOP.

TERRAIN MANAGEMENT:

1. THERE ARE SERIOUS CONCERNS REGARDING THE PONDING AREA THAT WAS TO BE A WATER HARVESTING AMENITY TO INCLUDE RAIN GARDENS AND PERMACULTURE. THE LARGE OPEN POND DESIGN DOES NOT PRESENT ANY OF THE ORIGINAL OBJECTIVES. IN ADDITION, THERE ARE SIGNIFICANT CONCERNS WITH HOW THE HOMEOWNERS ASSOCIATION CAN MAINTAIN THE REQUIRED FEATURES IN THEIR DRAINAGE MAINTENANCE RESPONSIBILITIES. PRIOR TO PLANNING COMMISSION
2. INCLUDE MANAGEMENT OF STORMWATER BEFORE IT LEAVES THE PROPERTY AND GETS TO THE POND/RAIN GARDEN. THERE SHOULD BE MANAGEMENT OF STORMWATER THROUGHOUT THE PROJECT SUCH AS RAIN GARDENS FLOWING THROUGH THE PARKWAYS.
3. THE TERRAIN MANAGEMENT REPORT CONTAINS NO EASILY IDENTIFIABLE INFORMATION ON WHAT IMPERVIOUS AREAS WERE ASSUMED FOR ANY OF THE SITE. IS ONSITE PONDING REQUIRED FOR EACH LOT? WAS ANY IMPERVIOUS SURFACE INCLUDED FOR EACH LOT? WAS ANY IMPERVIOUS SURFACE FOR PHASE 2 INCLUDED IN THE CALCULATIONS? WHAT IS THE POND VOLUME REQUIRED? INCLUDE THESE DISCUSSIONS.
4. IT APPEARS THAT PARKING IS ONLY ALLOWED ON ONE SIDE OF THE STREET AND IS NOT ALLOWED ON CURVES. PLEASE INCLUDE NO PARKING SIGNS THROUGHOUT THIS DEVELOPMENT. INCLUDE SIGNS WITH DIRECTIONAL ARROWS FOR NO PARKING AND "NO PARKING BETWEEN SIGNS" FOR LONGER STRETCHES.PRIOR TO RECORDATION.
5. PROVIDE DETAIL OF POND OVERFLOW ARMORING ON BERM EVEN THOUGH IT SHOULDN'T OVERTOP UP TO THE 1000-YEAR STORM EVENT.3. PROVIDE DETAILS OF DRAINAGE UNDER SIDEWALKS AND THROUGH PLANTER STRIPS.
6. ROADWAYS MUST BE 2" OF SPIII UNDER 2" OF SPIV.
7. STRIPING AND LIGHTING: PLEASE CONFIRM WITH PUBLIC WORKS IF THEY AGREE WITH THE STRIPING BETWEEN PARKING AREAS AND ROADWAY. PLEASE CONFIRM LIGHTING REQUIREMENTS. THERE SHOULD BE LIGHTING PROVIDED AT ALL INTERSECTIONS.

OTHER COMMENTS HAVE BEEN PROVIDED ON THE PLANS.

WATER:

1. NEED TO ADD A NEW SHEET 4-11A WHICH SHOWS ALL THE LANDSCAPING TREES AND THE 20 FOOT WIDE SEWER EASEMENT WITHOUT ALL THE SOIL TYPES SO THAT WE CAN SEE THE PROXIMITY OF THE TREES TO BE PLANTED IN RELATION TO THE SEWER EASEMENT BOUNDARY WITHOUT ALL THE OTHER CLUTTER
2. SHOW THE LOCATION AND THE HORIZONTAL DISTANCES BETWEEN THE WATER, SEWER, AND STORMWATER SEWER IN THE TYPICAL ROADWAY SECTIONS FOR THE 50- AND 60-FOOT ROW
3. SHOW THE DISTANCES BETWEEN THE WATER, SEWER AND STORMWATER PIPES IN THE P&P SHEETS

CASE #: 2025-010010

ADDRESS:

SHEET NAME:
DEVELOPMENT PLAN
CONDITIONS & NOTES

SHEET #:
DP-101
SHEET #__ OF __

Company Title Block with Company Name, Company Address, Sheet Title

PROJECT NAME

EXISTING CONDITIONS PLAN

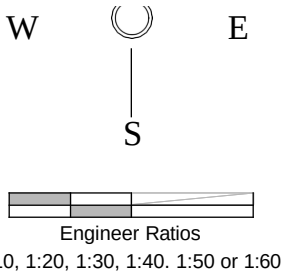
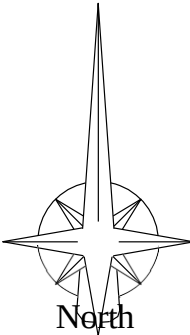
PROPERTY INFORMATION

ZONING:
OVERLAYS:
HISTORIC STATUS:
NATIONAL REGISTRY:
LOT SIZE:
EXISTING STRUCTURE SQ. FT.:
EXISTING UTILITIES:
FLOOD ZONE:

LEGAL LOT INFORMATION

RECORDING INFORMATION DESCRIBING CITY RECOGNIZED LEGAL LOT OF
RECORD

Company Title Block with Company
Name, Company Address, Sheet
Title



LINETYPE LEGEND

PROPERTY LINE
ROW LINE
EASEMENT
SETBACKS

CASE #: 2025-010010	
ADDRESS:	
SHEET NAME: EXISTING CONDITIONS PLAN	SHEET #: DP-102 SHEET # ____ OF ____

PROJECT NAME

SITE DEVELOPMENT PLAN

SITE DATA & BUILDING INFO

PROJECT SITE: Acerage: 4.8 acres Flood Plain: N/A Flood Way Square Feet: N/A Net Acreage: 4.8 acres	Peralta. Elsewhere in the subdistrict there are no required yards.
ZONING: BCDMAR (Busines Capitol District Marcy Subdistrict)	SETBACK: Average of the Block
OVERLAY ZONING: Downtown and Eastside Historic District Historic Downtown Archaeological Review District	OPEN SPACE: 10% of the lot area
BUILDINGS: Building A: 8,000 Sq.Ft. Building B: 30,000 Sq.Ft. Building C: 8,000 Sq.Ft.	LANDSCAPE: Landscape treatment required in yards and open space. Street trees and landscape treatment required if planting strip exists. Asphalt or concrete pavement prohibited in planting strip.
HEIGHT: Marcy Subdistrict Maximum Height: 42' Downtown and Eastside Historic District: 14' Building A: 14' Building B: 14' Building C: 14'	HEIGHT OF WALLS AND FENCES: Maximum 4'.
LOT COVERAGE: Marcy Subdistrict: No Requirement	PLACEMENT OF OFF STREET PARKING: Parking set to the rear of the property Required parking for Commercial Use: 350:1 46,000 gross square feet 44 square feet Net leasable Required Parking - 132 Parking Spaces Provided Parking = 294 Parking Spaces ADA Parking Spaces = 8 ADA Parking Spaces ADA Van Accessible = 2 Parking Spaces
BUILDING PLACEMENT: Front required yard equal to the average depth of existing front yards on the block shall be required for (a) the east side of Washington Avenue between Palace Avenue and Paseo de Peralta (Hillside); and the west side of Grant Avenue between Palace Avenue and Paseo de	PORTALS IN THE ROW: None

GUNNISON'S PRAIRIE DOG NOTE

THE PROJECT SHALL COMPLY WITH THE PROVISIONS OF THE GUNNISON'S PRAIRIE DOG ORDINANCE (ARTICLE 14-8.12).

DRAINAGE FACILITIES DESIGN NOTE

ALL STORM WATER DETENTION / RETENTION AREAS SHALL DRAIN WITHIN 24 HOURS OF A STORM EVENT AS PER ARTICLE 14-8.2(D)(4)(c)(i)

KEYED NOTES

①	PROPERTY LINE	⑫	PERIMETER FENCE / WALL
②	VEHICLE ENTRANCE	⑬	OPEN SPACE
③	FIRE HYDRANT	⑭	BIKE RACK
④	FIRELANE	⑮	WALL SIGN & ADDRESS
⑤	5 FOOT CONCRETE WALK	⑯	EV CHARGING STATION
⑥	CONCRETE CURB & GUTTER		
⑦	ASPHALT PAVEMENT		
⑧	ADA COMPLIANT PARKING		
⑨	ADA COMPLIANT RAMP		
⑩	ADA CROSSWALK		
⑪	REFUSE ENCLOSURE		

CASE #:

2025-010010

ADDRESS:

SHEET NAME:

SITE DEVELOPMENT PLAN

SHEET #:

DP-103

SHEET #__OF __

Company Title Block with
Company Name, Company
Address, Sheet Title

GENERAL NOTES

1. SOLID WASTER COLLECTION WILL BE PROVIDED BY THE CITY OF SANTA FE.
2. EXTERIOR LUMINARIES SHALL COMPLY WITH CHAPTER 14-8.9 SFCC.
3. THE SITE SHALL COMPLY WITH INTERNATIONAL FIRE CODE (IFC) 2015.
4. THE FIRE DEPARTMENT ACCESS SHALL NOT BE LESS THAN 20' AND 26' AROUND THE RESIDENTIAL BUILDING.
5. THE SITE SHALL HAVE A WATER SUPPLY THAT MEETS FIR FLOW AND HAVE A DISTANCE TO THE NEAREST HYDRANT TO MEET IF REQUIREMENTS.
6. ALL FIRE DEPARTMENT ACCESS SHALL HAVE A GRADE NO GREATER THAN 10% .
7. FIRE LANE SURFACE SHALL BE ALL WEATHER AND SUPPORT 75,000 LBS.

DUST CONTROL

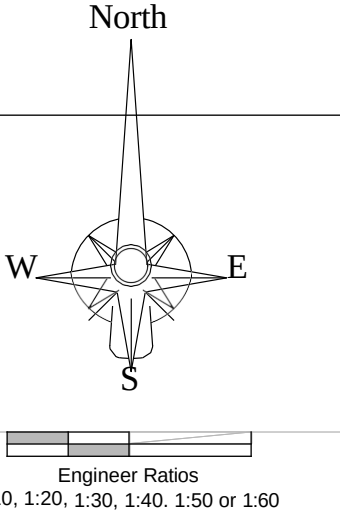
ALL ON-SITE SOIL DISTURBING CONSTRUCTION ACTIVITIES SHALL BE ADDRESSED AND PROVIDE MEASURES TO MITIGATE OR CONTROL DUST FROM BEING TRANSPORTED OFFSITE AND POLLUTING NEIGHBOING PROPERTIES. ANY PERSON, OWNER, CONTRACTOR OR OPERATOR WHO CONDUCTS EARTHMOVING AND/OR DUST GENERATING ACTIVITIES IS RESPONSIBLE FOR IMPLEMENTING BEST MANAGEMENT PRACTICES (BMPS) IN ORDER TO MITIGATE OFF-PROPERTY TRANSPORT OF FUGITIVE DUST EMISSIONS. A PLAN, OR STORMWATER PREVENTION PLAN (SWPP) WHEN APPLICABLE, LISTING BEST MANAGEMENT PRACTICES (BMPS), SHALL BE PROVIDED TO THE CITY ENGINEER, OR THEIR DESIGNEE FOR REVIEW AND APPROVAL. THE APPROVED BMPS SHALL BE APPLIED TO THE GRADED AND/OR DISTURBED SOIL IN ORDER TO STABILIZE THE SITE. THE INITIAL BMP SHALL ADDRESS HOW THE CONTRACTOR WILL MINIMIZE THE AMOUNT OF DISTURBED SOIL, AND HOW THE CONTRACTOR WILL STABILIZE THE DISTURBED SURFACE AREA EXPOSED TO WIND OR VEHICLE TRAFFIC DURING CONSTRUCTION.

LEGEND

	ADA SPACE		PEDESTRIAN CROSSWALK
	ADA ACCESS PATH	12	PARKING ROW COUNT
	BLDG NUMBER BLDG TYPE, REF ARCH PLANS		BIKE RACK

LINETYPE LEGEND

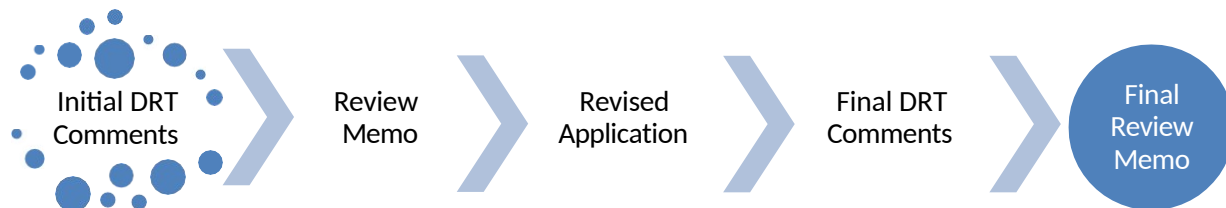
PROPERTY LINE	
ROW LINE	
EASEMENT	
SETBACKS	



Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

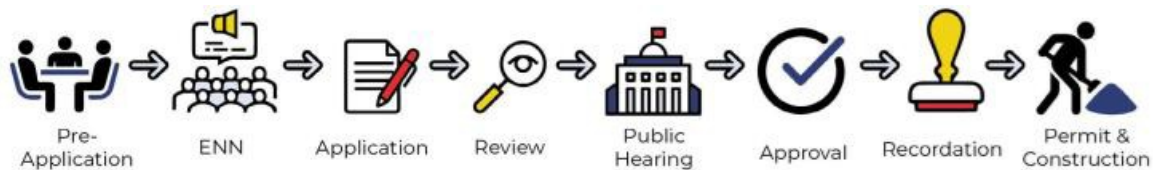


Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the 2024 Development Review Schedule for details

DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due

Date: February 16, 2026

DRT Member: Geronimo Griego, Fire Marshal

Dept/Div: Fire Prevention Division

Case No.: 2025-11753_2025-11756_1802 Cerrillos_EmpireStorage_DP_SUP

Case Planner:

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1. Shall reference correct year of IFC (C-100) and Appendix B for average-sprinkler reduction (FC-101)	<i>Prior to Public Hearing</i>	
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

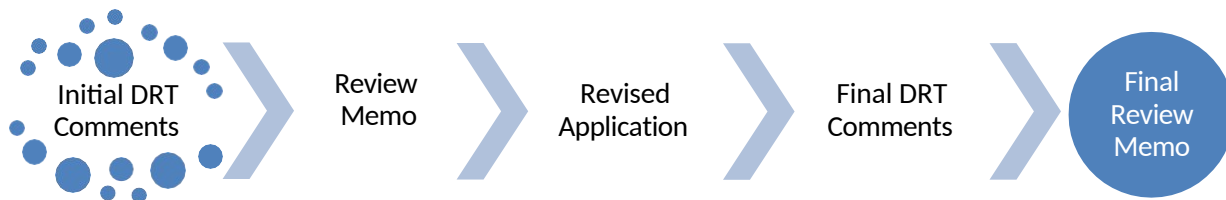
Explanation of Conditions or Corrections (if needed):

IFC 2015 is the wrong referenced fire code. The city of Santa Fe most currently adopted fire code is IFC 2021. Also look at the most recently adopted fire code for the correct reference Appendix B Table B105.1 (1)

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

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- During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the 2024 *Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due

Date: 02/16/2026

DRT Member: Paul A. Duran

Dept/Div: Land Use/

HPD

Case No.: #2025-11756 1802 Cerrillos Road

Case Planner: Alexa N. Hempel

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
14-4.2(D)(3) & 14-4.2(D)(4) (3) Suburban Archaeological Review District - In this district, an archaeological clearance permit shall be required prior to approval of the final development plan or plat for the following projects: (I) All annexations, rezonings, subdivisions, planned unit developments, or other development requiring approval by the Planning Commission, having over ten (10) acres (II) All city projects over two (2) acres in size. (III) All city park projects over one (1) acre in size. (4) Utility Mains An archaeological clearance permit is required for new construction of sewer mains or main lines of other utilities such as telephone lines, gas lines, and fiber optics, including the entire construction easement: (I) With an extension of sixty (50) feet or more if the main is in the historic downtown archaeological review district; (II) With an extension of five hundred fifty (550) or more if the main is in the river and trails or suburban archaeological review district.	No further review required unless a future proposed utility plan exceeds 550-linear feet of utility lines.	
7.		
8.		
9.		
10.		
11.		

Technical Corrections:	Must be completed by:	Applicant response**:
1.		

2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

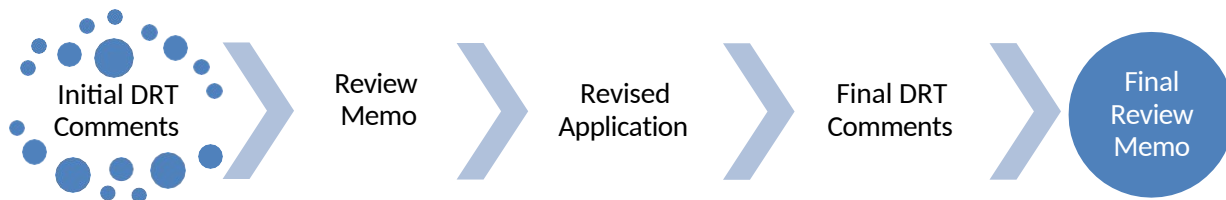
Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

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- During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the 2024 *Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due

Date: 2/16/2026

DRT Member: Teddy Padilla

Dept/Div: Land Use/Technical Review

Case No.: 2025-11753, 2025-11756

Case Planner: Alexa Hempel

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1. Must remove and replace all damaged existing sidewalks.	Prior to permit	
2. Must relocate northeast fire hydrant out of sidewalk path on Cerrillos Rd.	Prior to recordation	
3. Must remove and replace all existing, abandoned curb cuts/drive entrances and replace with barrier curb. SFCC 23-3.5	Prior to recordation	
4. ADA Parking stalls and aisles must be added to east parking lot for buildings 2, 3, for the offices and restrooms.	Prior to recordation	
5. Remove City of Albuquerque Civil Details Sheets # C-506, and # C-507 and add NMDOT Series 608 in place.	Prior to recordation	
6. Must bring Existing Corner curb ramps to ADA compliance.	Prior to recordation	

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Form Updated: April 2024

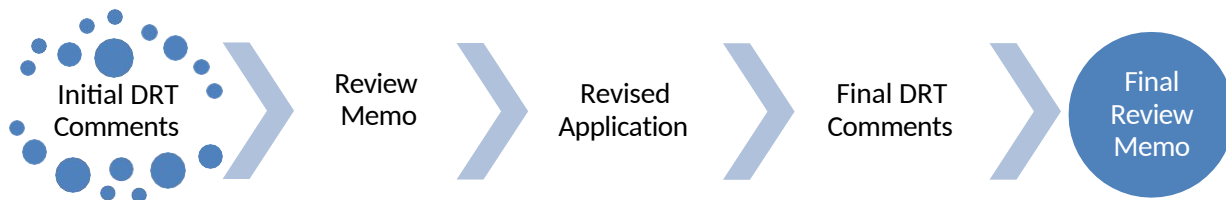
Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

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- d. *During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the 2024 *Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due
2/9/26 by SF MPO	2/9/26 by SF MPO	

Date: 2/16/26

DRT Member: Erick Aune & Carrie Tremblatt

Dept/Div: Santa Fe MPO

Case No.: Case #2025-11753

Case Planner: Alexa Hampel

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1. Sidewalk should align with Cerrillos Road Plan specs and city street design standards which require 5' landscape buffer between street and pedestrian path (See comments on plans for detail). Sidewalk width should be at least 6', but also made as wide as possible on Cerrillos. FHWA and AASHTO guidance support a separated bike facility given the vehicle speeds and volumes here. By expanding the sidewalk to the minimum for a shared use path (10') this would better align with federal guidance.	Prior to planning commission	
2. Driveway conflicts on NW Fourth street should be minimized by consolidating driveways or minimizing the driveway width to ensure one-way circulation	Prior to planning commission	
3. Ensure safe pedestrian access to site from each street frontage and sidewalk and also between all 3 parcels. How are conflicts between cars and pedestrians crossing 4th from parking on site 1 to site 2 going to be managed and minimized?	Prior to planning commission	
4. Pedestrian Access Routes should aim for right angles. Skewed angles can be challenging for wheelchairs to maneuver safely. Minimize awkward angles and ensure there is sufficient landing pad for maneuvering	Prior to planning commission	
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

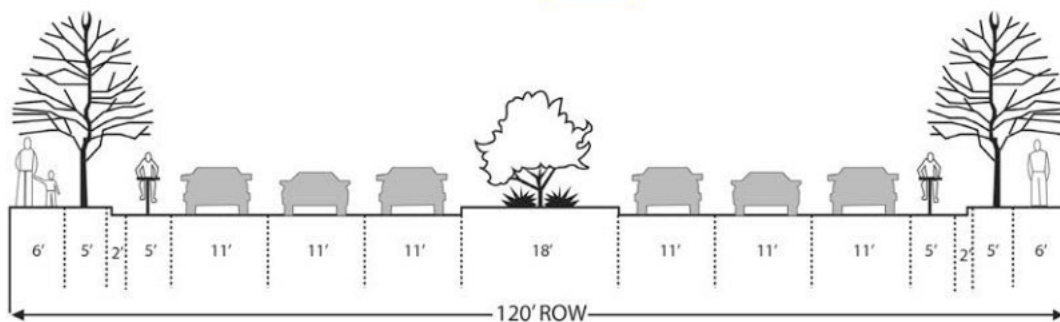
Form Updated: April 2024

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

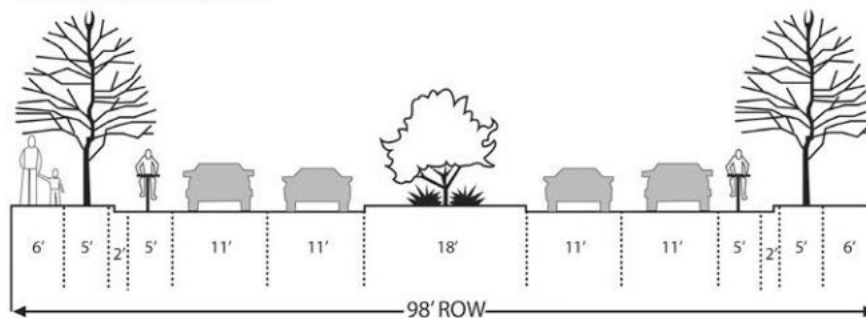
1. [list any additional items]
2. Explanation of Conditions or Corrections (if needed):
3. (see following pages for notes required)

See City Street Standards below for sidewalk and landscaping buffer requirements

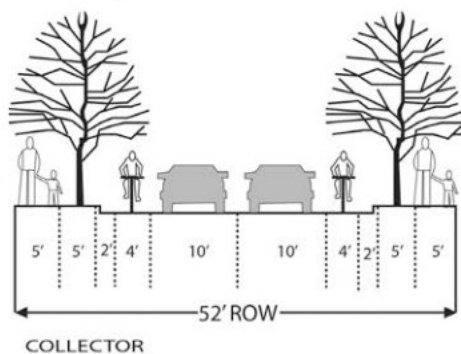
Illustration 14-9.2-1: **Street** Types Design



MAJOR ARTERIAL 6-LANE

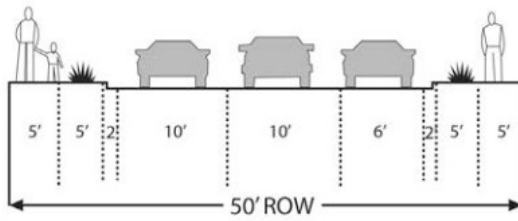


MAJOR ARTERIAL 4-LANE

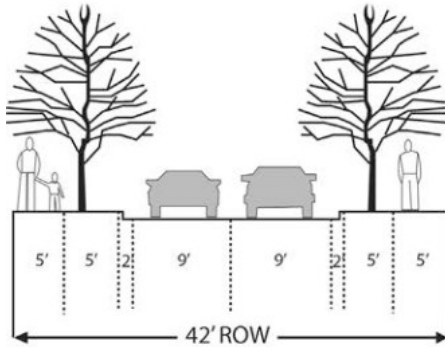


COLLECTOR

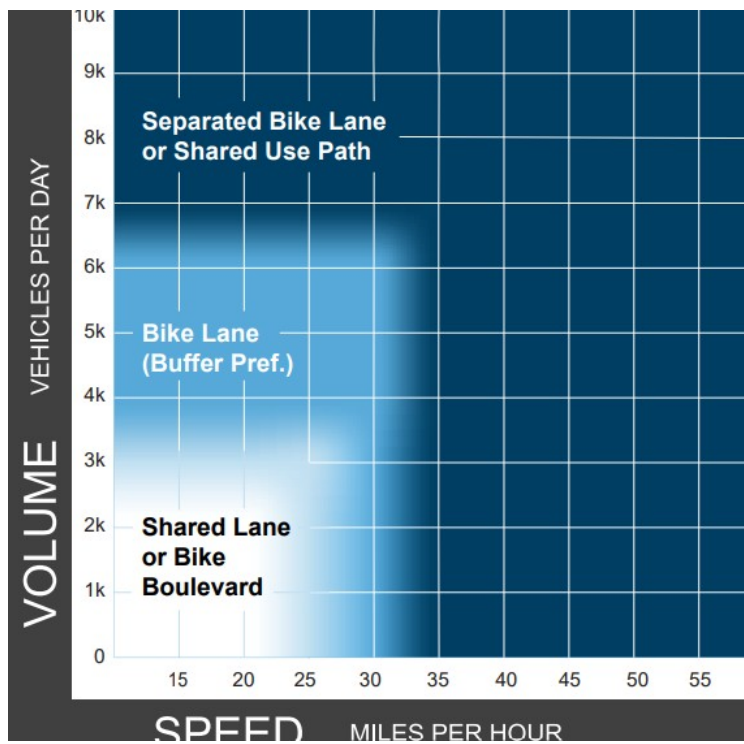
PARKING BOTH SIDES



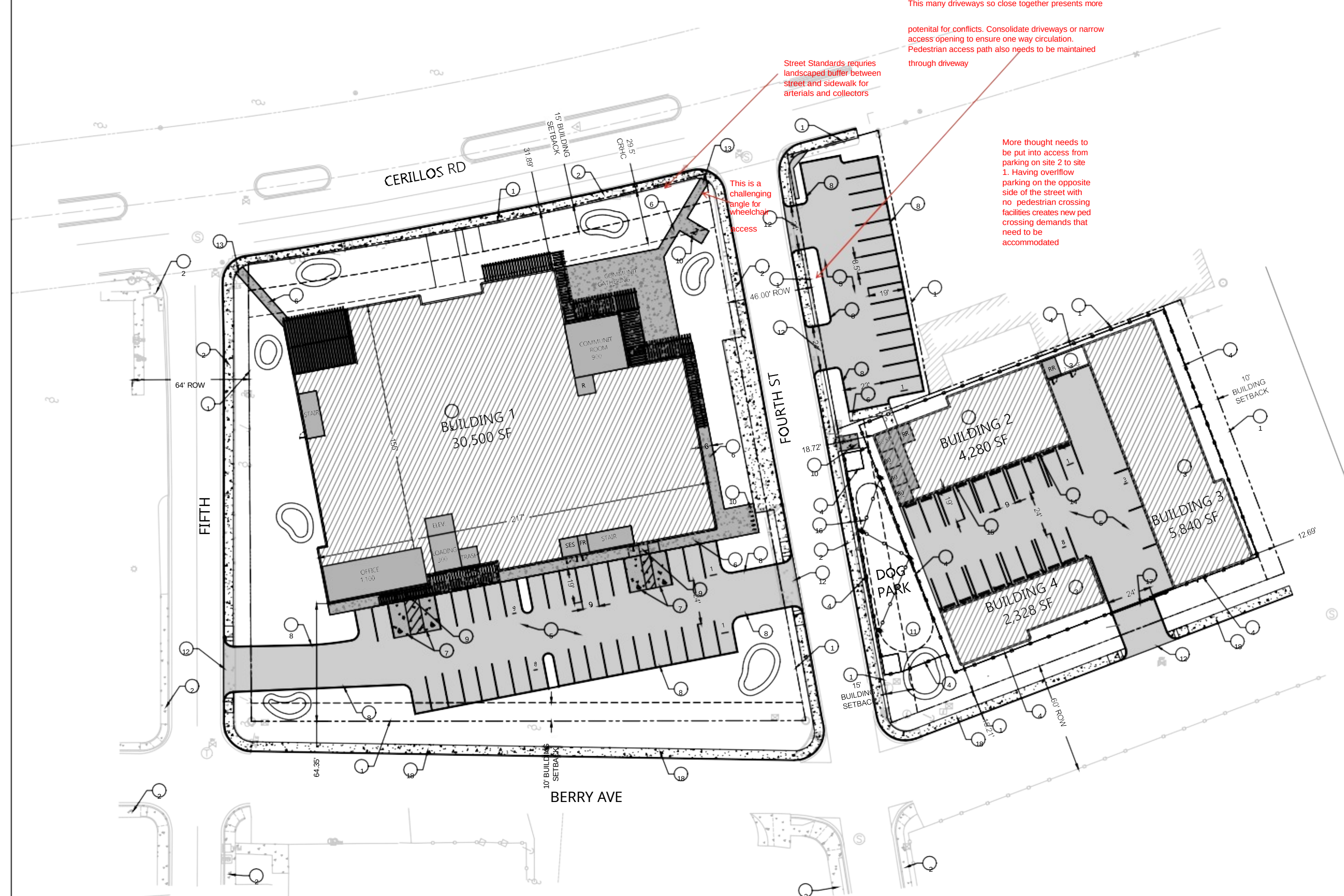
SUB COLLECTOR WITH PARKING ON ONE SIDE



SUB COLLECTOR WITHOUT PARKING



EMPIRE SELF STORAGE SITE PLAN



- ### GENERAL NOTES
1. SOLID WASTER COLLECTION WILL BE PROVIDED BY THE CITY OF SANTA FE.
 2. EXTERIOR LUMINARIES SHALL COMPLY WITH CHAPTER 14-8.9 SFCC.
 3. THE SITE SHALL COMPLY WITH INTERNATIONAL FIRE CODE (IFC) 2015.
 4. THE FIRE DEPARTMENT ACCESS SHALL NOT BE LESS THAN 20' AND 26' AROUND THE RESIDENTIAL BUILDING.
 5. THE SITE SHALL HAVE A WATER SUPPLY THAT MEETS FIR FLOW AND HAVE A DISTANCE TO THE NEAREST HYDRANT TO MEET IF REQUIREMENTS.
 6. ALL FIRE DEPARTMENT ACCESS SHALL HAVE A GRADE NO GREATER THAN 10% .
 7. FIRE LANE SURFACE SHALL BE ALL WEATHER AND SUPPORT 75,000 LBS.

- ### KEYED NOTES
- XX
- PROPERTY LINE
 - EXISTING PUBLIC SIDEWALK
 - PROPOSED BUILDING
 - PROPOSED FENCING
 - PROPOSED ASPHALT PARKING
 - PROPOSED 6' CONCRETE SIDEWALK
 - PROPOSED CONCRETE ADA PARKING
 - PROPOSED CONCRETE CURB AND GUTTER
 - PROPOSED ADA CURB RAMP
 - PROPOSED BIKE RACKS
 - PROPOSED DOG PARK
 - PROPOSED DRIVEPAD
 - PROPOSED PUBLIC SIDEWALK CONNECTION
 - PROPOSED BOLLARDS, TYP.
 - PROPOSED CONCRETE WHEEL STOPS, TYP.
 - PROPOSED SITE LIGHTING PER ELECTRICAL PLANS
 - PROPOSED VEHICLE GATE
 - PROPOSED PUBLIC SIDEWALK

- ### LEGEND
- PROPERTY LINES
 - EASEMENTS
 - PROPOSED FENCE
 - PROPOSED SITE LIGHTING
 - PROPOSED BUILDING
 - PROPOSED CONCRETE
 - PROPOSED ASPHALT
 - PARKING

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SANTA FE, NM

DXD CAPITAL

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SANTA FE, NEW MEXICO

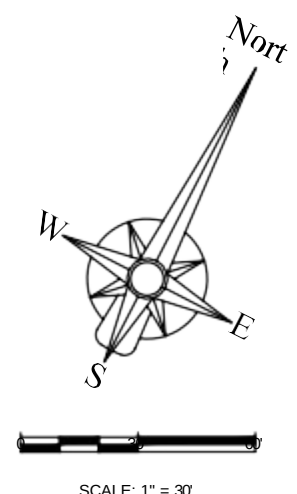
SITE PLAN

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

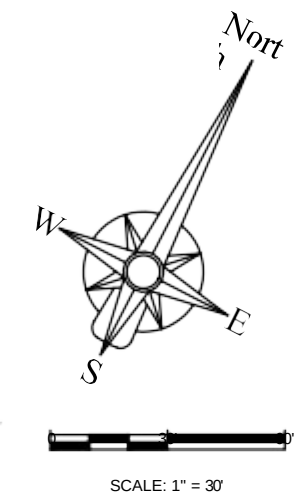
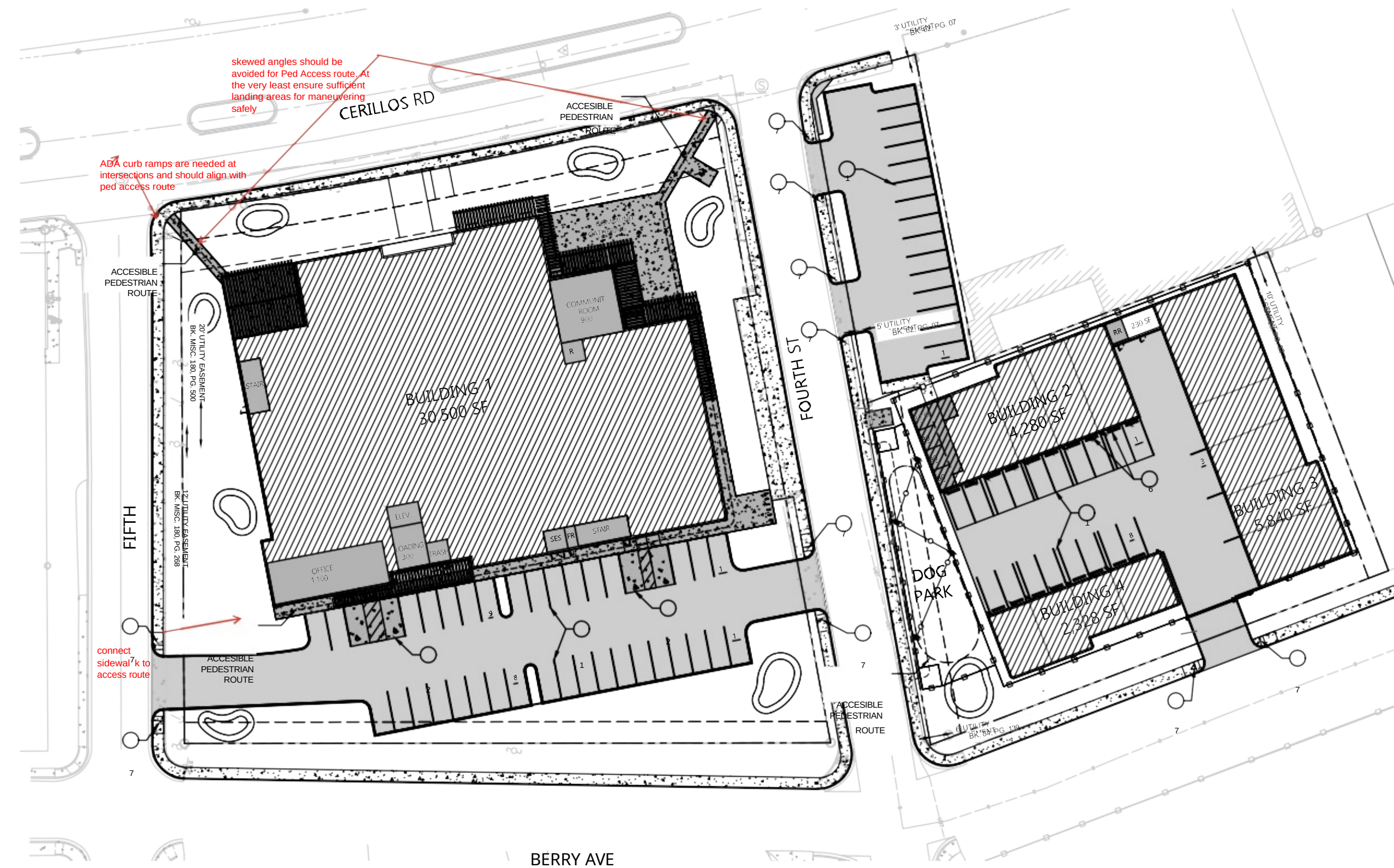
Designed RJC	Drawn CLW	Checked RJC
-----------------	--------------	----------------

Date: December 2025

CASE #:	
ADDRESS: 1802 CERRILLOS RD. SANTA FE, NM 87505 1361 FOURTH ST. SANTA FE, NM 87505 1750 CERRILLOS RD. SANTA FE, NM 87505 3 RD BERRY AVE. SANTA FE, NM 87505	
SHEET NAME: SITE PLAN	SHEET #: C-201 SHEET # OF



EMPIRE SELF STORAGE SIGNING AND STRIPING - ADA PLAN

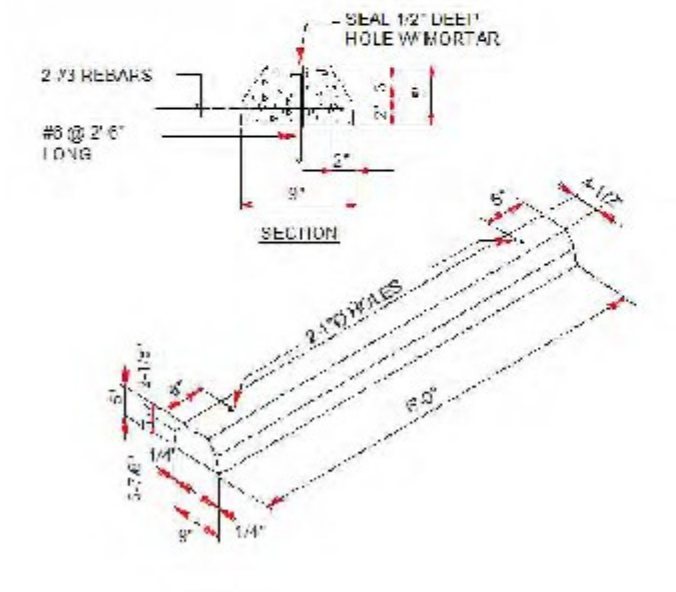
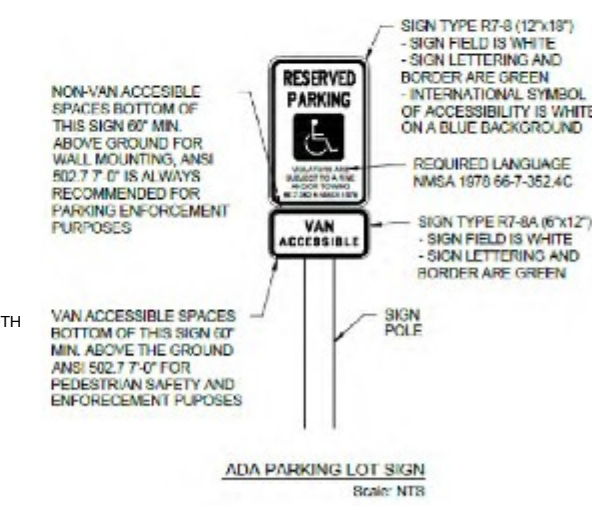
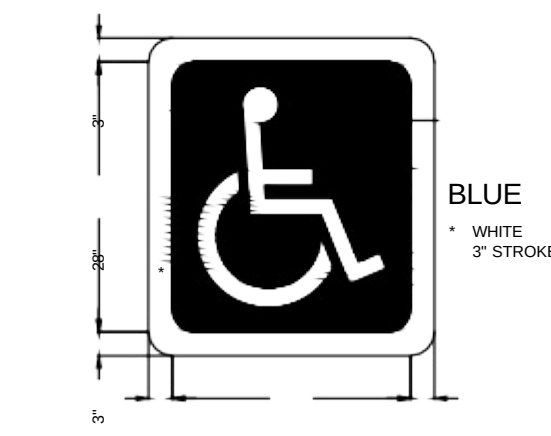
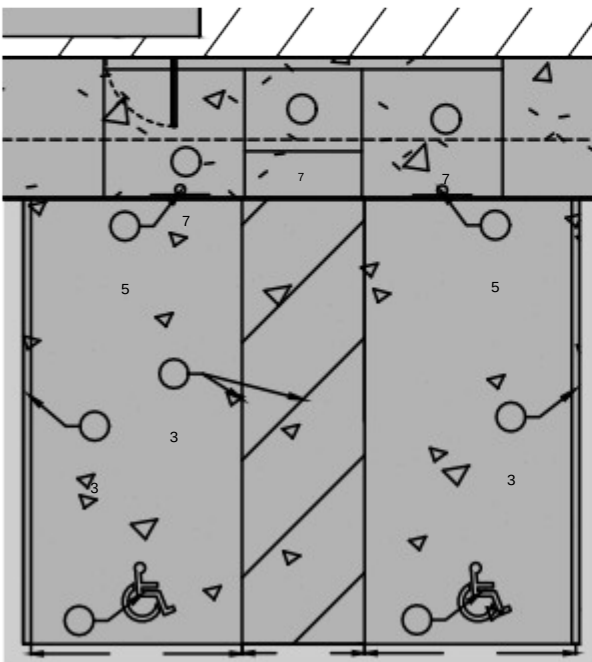


- ### NOTES FOR PAVEMENT MARKINGS
1. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE CURRENT EDITION OF THE MUTCD.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT AND INSTALLATION OF PAVEMENT MARKINGS ON FINAL SURFACE COURSE. THE LAYOUT OF ALL PAVEMENT MARKINGS SHALL BE APPROVED BY THE PROJECT MANAGER PRIOR TO THE APPLICATION OF MATERIALS.
 3. ALL LANE DIMENSIONS ARE FROM CENTER OF LANE STRIPE, CENTER OF DOUBLE LANE STRIPE, FACE OF CURB, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

- ### NOTES FOR PERMANENT SIGNING
1. ALL SIGNS UNLESS OTHERWISE SPECIFIED, SHALL MEET THE REFLECTIVITY REQUIREMENTS IN THE TABLE ON SHEET C-18 FOR THE SHEETING, LEGEND, BORDER AND BACKGROUND. ONLY ALUMINUM PANEL SIGNS ARE PERMITTED.
 2. ALL TRAFFIC CONTROL SIGNS AND DEVICES SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.
 3. THE LATERAL CLEARANCE OF SIGNS SHALL BE NOT LESS THAN 2 FT. FROM THE FACE OF CURB OR SIDEWALK.
 4. ALL SIGNING HARDWARE, INCLUDING BRACKETS, (FOR MOUNTING ALL STREET NAME SIGNS, ETC.) ARE CONSIDERED INCIDENTAL TO SIGN INSTALLATION AND THEREFORE NO ADDITIONAL PAYMENT SHALL BE MADE.

- ### GENERAL NOTES
1. AT TIME OF CONSTRUCTION, THE CONTRACTOR SHALL ENSURE ADA COMPLIANCE FOR CONSTRUCTION OF REQUIRED ADA ACCESSIBLE FEATURES AND APPURTENANCES, AS DETAILED IN, AND IN ADDITION TO, THE APPROVED CONSTRUCTION PERMIT DOCUMENTS.
 2. IMPROVEMENTS SHALL COMPLY WITH ICC ANSI A117.1-2009 CHAPTERS 1-5 AND CHAPTER 7, MUTCD, DOJ, AND NM STATE STATUTE AND CODE SUCH AS THE NEW MEXICO ACCESSIBLE PARKING CHECKLIST, LATEST PUBLISHED VERSION. SIGNAGE WITH REQUIRED LANGUAGE PER THE NM ACCESSIBLE PARKING CHECKLIST IS REQUIRED AT ALL ADA PARKING SPACES.
 3. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION. 1%-1.5% IS THE PREFERRED TARGET SLOPE.
 4. ALL WALK SURFACES ALONG THE ACCESSIBLE PATH OF TRAVEL SHALL BE FIRM, STABLE AND SLIP RESISTANT. SIDEWALKS AND WALKWAYS ALONG THE ACCESSIBLE PATH OF TRAVEL SHALL NOT EXCEED 1:20 (5%) RUNNING SLOPES WITHOUT HANDRAIL(S) IN ACCORDANCE WITH CURRENT ANSI 117.1 STANDARDS 505 2015 IBC 1014. CROSS SLOPES SHALL NOT EXCEED 2% STAFF RECOMMENDS 1% TO 1.5% AS A TARGET CROSS SLOPE.
 5. RAMPS WITHIN THE SITE SHALL HAVE 1:12 (8.33%) RUNNING SLOPE AND 1:48 (2%) CROSS SLOPE MAX. WITH A MAX. RISE OF 30" AND WITH 5' CLEAR LENGTH LANDINGS WHERE STRAIGHT. CHANGES IN DIRECTION SHALL COMPLY WITH 304.3. LANDING TYPICAL SLOPE IS 1.5% AND SHALL NOT EXCEED 2% RUNNING AND CROSS SLOPE. WALKWAYS SHALL PROVIDE 5' DIAMETER TURNING SPACE EVERY 200 LINEAR FEET OF RUN.
 6. ENSURE ACCESSIBLE ROUTE(S) FROM ACCESSIBLE PARKING SPACE AISLE(S) TO BUILDING ENTRANCE ARE PROVIDED/MAINTAINED.

- ### KEYED NOTES
- XX
- 1. 4" SOLID WHITE, TYPICAL
 - 2. ADA ACCESSIBLE PARKING, SEE DETAIL A
 - 3. 4" SOLID BLUE, TYPICAL
 - 4. ADA ACCESSIBLE PARKING SYMBOL, SEE DETAIL B
 - 5. VAN ACCESSIBLE SIGN, SEE DETAIL C
 - 6. PRECAST CONCRETE WHEEL STOP, SEE DETAIL D
 - 7. ADA ACCESSIBLE CURB RAMP
 - 8. DETECTABLE WARNING SURFACE



CASE #:
ADDRESS: 1802 CERRILLOS RD. SANTA FE, NM 87505
1361 FOURTH ST. SANTA FE, NM 87505
1750 CERRILLOS RD. SANTA FE, NM 87505
3 RD BERRY AVE. SANTA FE, NM 87505

SHEET NAME:
SIGNING AND

C-203
SHEET #:

STRIPING - ADA PLAN

SMA
Soudier, Miller & Associates
Engineering • Environmental • Geomatics
Serving the Southwest & Rocky Mountains
5454 Venice Avenue NE, Suite D
Albuquerque, NM 87113
Phone: (505) 294-0942 Fax: (505) 293-1430
www.soudiermiller.com

SANTA FE, NM
EMPIRE SELF STORAGE
SANTA FE, NEW MEXICO
SIGNING AND STRIPING - ADA

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED
Designed: RJC Drawn: CLW Checked: RJC
Date: December 2025



CLINTERSECTION	
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PROP. P.E.O.E.S TR/A/N
SCREENING FENCE,
TYPE 1

PROP. FILL SLOPE

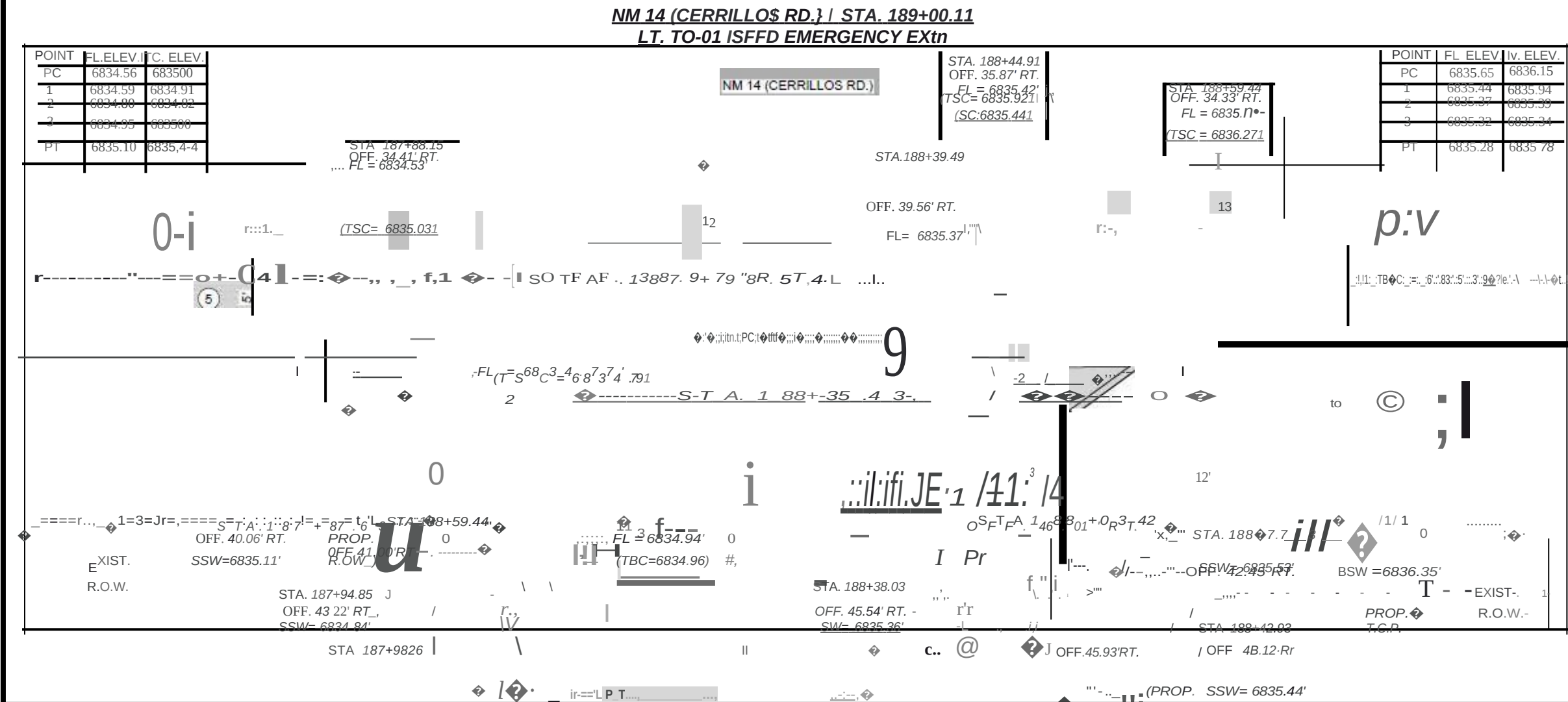
PROP.

CLCONST. T.C.P.-S_

J







Development Review Team (DRT) Comment Form

Date: February 20, 2026

DRT Member: Leroy Pacheco, PE and Phil Gallegos, PE (Wilson &

Company) Dept/Div: Public Works Department – Traffic Engineering

Case No.: Case #2025-11753 (Development Plan) & Case #2025-11756 (Special Use Permit) 1802 Cerrillos Road (former Empire Builders Site)

Case Planner: Alexa Hempel, LEED Green Associate, Senior Planner

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1. See attached letter from Wilson & Company dated 2/20/26 certifying its concurrence with the developer's "Initial Traffic Assessment" (ITA).	N/A	
2. Developer should provide certification that its engineers have provided NMDOT project development engineers opportunity to review site plans in accordance with the department's proposed redesign and reconstruction of Cerrillos Road.	Prior to Planning Commission	
3. A detailed signage and striping plan for all required on-street signage, pavement markings, and any related regulatory/directional signs shall be submitted for review and approval by Public Works.	Prior to Building Permit	

Technical Corrections:	Must be completed by:	Applicant response**:
1.		
2.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. City of Santa Fe Building Code, Chapter 23-3.2 states that before commencement of any new construction, it is mandatory for the owner to obtain approval from the Public Works Department for any driveway curb cut or sidewalk crossing. This approval must be issued before a building permit for such new construction is approved.
2. Note as the public infrastructure plans move forward to building permit, these may be subject to additional reviews and possible corrections to meet Public Works Standards for roadways, ADA, signing, striping, lighting, etc. prior to building permit approval.

Memorandum

To: Leroy Pacheco, PE COSF

From: Philip A. Gallegos, PE, Senior Transportation

Engineer CC:

Date: 2/20/2026

Re: DXD Storage ITA Review Comments

Wilson and Company has reviewed the ITA prepared by Souder Miller and Associates for the DXD Empire Self Storage Development located at 1802 Cerrillos Road in Santa Fe, New Mexico.

The ITE Trip Generation Handbook, 12th Edition was utilized for this ITA and the number of trips generated by this development are below the thresholds for a TIA as outlined in the City of Santa Fe TIA Guidelines. Therefore, I concur with the findings of the report.

Please let me know if you have any questions or require further information.

Sincerely,

Philip A Gallegos, PE

Senior Transportation Engineer

Wilson & Company, Inc., Engineers & Architects

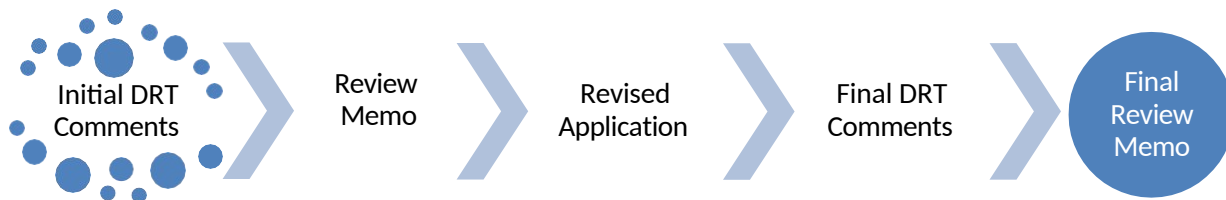
discipline | intensity | collaboration | shared ownership | solutions

1

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the 2024 *Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due
2/9/26 by Parks and Open Space	2/9/26 by Parks and Open Space	

Date: 2/18/26

DRT Member: Melissa McDonald, Parks and Open Space Division Director

Zoë Isaacson, River and Watershed Manager

Dept/Div: Parks & Open Space Division

Case No.: Case #2025-11753

Case Planner: Alexa Hampel

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1. The public right-of-way will be constructed in accordance with the approved Public Works project S100681 (NM 14/Cerrillos Road), including a 5-foot stamped concrete buffer and a full 6-foot sidewalk.	Prior to building permit approval Prior to planning commission	
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1. Existing Drainage Plan (sheet C-302) has a drainage calc. table labeled "post-development stormwater calculations. Verify this the correct table for this sheet and relabel to pre-development stormwater calcs. Also question whether this is correct table, as the existing volumes are less than post-development volumes on next sheet, however site plan reduces impervious area.	Prior to development plan approval Prior to recordation	
2. Please label each pond, provide drawings for each pond including inlet & outlet structures, storage volumes, location of sediment measuring post, and landscape materials. Ensure grading notes reflect plan.	Prior to development plan approval Prior to recordation	
3. Planting Note #1 (LP-501): This note should be revised to reference the City of Santa Fe landscape requirements rather than Doña Ana County landscape requirements.	Prior to development plan approval Prior to recordation	

4. Fencing oddly crosses retention pond (C-201)	note	
5. The dog park should be designed and constructed to capture the first flush of surface runoff in order to reduce water quality impacts. As currently depicted, the grading plan does not	Prior to development plan approval Prior to recordation	
direct runoff in a manner that would enable the pond to function as intended (sheet -304)		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
2. Explanation of Conditions or Corrections (if needed):

Development Review Team (DRT) Comment Form

Date: 2/16/2026

DRT Member: Dee Beingessner, Joshua VanSlambrouck

Dept/Div: Land Use Engineering

Case No.: 1802 Cerrillos Rd Development

Plan Case Planner: Alexa Hempel, Senior Planner

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Conditions of Approval:	Must be completed by:	Applicant Response**:
1. Provide discussion in the drainage narrative of how the stormwater will be directed to the ponding areas. Include how water will be directed from roof drains.	All Comments are Prior to recordation	
2. Provide flow directional arrows on grading and drainage plan especially showing flow from roof drains to ponding areas. Ponding area volumes must be established for each ponding area showing dimensions. Label each pond with a pond number and the volume. Depressed areas for all landscaped areas are encouraged, but the official ponding areas for the required storage must be verifiable in the future. The conveyance of water to those areas must be shown on the plans and verifiable in the future. Show curb cuts for water to enter landscaped areas.		
3. Provide photometric plan		
4. Include pond sections and show how ponds will overflow.		

Technical Corrections:	Must be completed by:	Applicant Response**:
1. Include attached notes.		
2. A financial guarantee will be required for all public and quasi-public infrastructure. The guarantee must be in place prior to recordation of development plan.		
3. Current analysis shows a violation: an increase in peak stormwater flows is not allowed per city code 14-8.2(D)(4)(b)(i)		
4. Include 2 additional drainage analysis for the 1-year, 1-hour, and 100-year, 24-hour, required to show compliance for any frequency storm event up to the 100-year, 24-hour. Please See city code 14-8.2(D)(4)(b)(i) "except as otherwise required by this Section 14-8.2 , the stormwater runoff peak flow rate discharged from a site shall not exceed pre- development conditions for any frequency storm event up to the one percent chance, twenty-four-hour storm event at each discharge point;"		
5. Show on the drainage and terrain management plans: roof drain pattern and downspouts/canales, and means of		

Form Updated: March 2024

stormwater conveyance (swales, catch basins, storm drainpipe, curb cuts, etc.) to stormwater control features		
6. Please provide more information on how runoff Coefficients were selected from the NMDOT Manual, include the figure/table number, cover type, % impervious cover, etc.		
7. Please Verify how the runoff volumes are calculated, The Rational Method is not an acceptable method to calculate runoff volume per NMDOT Drainage Design Manual, July 2018, section 403, Limitations: "Runoff volumes may not be computed with the Rational Formula Method or Modified Rational Formula Method (not included in this Drainage Design Manual".		
8. Include an acceptable runoff volume analysis for stormwater quality volume for a 0.68-inch (90% percentile, or roughly the 1-year, 1-hour storm) event. This runoff volume must be contained/retained on site, to reduce pollution per EPA NPDES MS4, see city code 14-8.2(A)(13). This volume must infiltrate in 24 hours per city code 14-8.2(D)(4)(c)(ii), It is encouraged that the Stormwater quality volume design is incorporated into the landscape, to also comply with landscape code rainwater harvesting requirements 14-8.4(E)(1) "The <u>landscaping</u> plan shall include <u>passive water harvesting</u> for <u>landscape</u> irrigation purposes as a minimum requirement" the minimum recess depth for retention and water harvesting areas is 6 inches.		
9.		

***The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.*

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

See following pages for notes required on plat or plans

DRAINAGE FACILITIES MAINTENANCE NOTE

ALL DRAINAGE FACILITIES SHALL BE MAINTAINED BY ALL PROPERTY OWNERS. THE PROPERTY OWNERS SHALL ALSO HAVE THE RESPONSIBILITY FOR MAINTENANCE OF THE PUBLIC DRAINAGE EASEMENT.

INSPECTIONS SHALL BE CONDUCTED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO OR OTHER QUALIFIED PERSON. INSPECTIONS SHALL BE CONDUCTED ON THE DRAINAGE FACILITIES IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

ON OR ABOUT MARCH 15, ON OR ABOUT SEPTEMBER 15, AND AFTER EACH STORM EVENT OF 1-INCH OR GREATER. MAINTENANCE OF THE DRAINAGE FACILITIES SHALL BE CONDUCTED AND DOCUMENTED BY THE ENGINEER OR QUALIFIED PERSON AND THE OWNER. THE OWNER SHALL MAINTAIN A FILE OF THE INSPECTIONS AND REMEDIAL ACTION CONDUCTED ON THE DRAINAGE FACILITIES.

WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE ENGINEER'S RECOMMENDATIONS, AND SHALL INCLUDE, BUT IS NOT LIMITED TO THE FOLLOWING:

A. FLUSH ALL CULVERTS, DROP INLETS AND DRAINAGE PIPES TO REMOVE SEDIMENT AND VEGETATION THAT PREVENTS OR HINDERS THE FLOW OF STORM WATER IN THE DRAINAGE STRUCTURE(S).

B. REMOVE SEDIMENT IN PONDS THAT IS GREATER THAN 6-INCHES IN DEPTH, AND IF NECESSARY, RESEED WITH NATIVE GRASSES AND INSTALL FILTER FABRIC AND 3 TO 4 INCH COBBLE AS DIRECTED BY THE ENGINEER.

C. INSPECT FOR SEDIMENTATION IN ALL SWALES, DITCHES, DRAINAGE PONDS AND REMOVE AND STABILIZE AS NECESSARY.

D. INSPECT FOR SOIL EROSION AT ALL DRAINAGE PONDS, CUT AND FILL SLOPES, AND REPAIR OR STABILIZE ACCORDINGLY.

E. INSPECT THE STRUCTURAL INTEGRITY OF DRAINAGE PONDS, SLOPES, RIP-RAP, GABIONS, DROP INLETS, CULVERTS, ENERGY DISSIPATORS, AND RETAINING WALLS, ROCK PLATING, EROSION CONTROL MATS OR BLANKETS, AND REPAIR OR STABILIZE ACCORDINGLY.

GUNNISON'S PRAIRIE DOG NOTE

THE PROJECT SHALL COMPLY WITH THE PROVISIONS OF THE GUNNISON'S PRAIRIE DOG ORDINANCE (ARTICLE 14-8.12).

DUST CONTROL NOTE

All on-site soil disturbing construction activities shall be addressed and provide measures to mitigate or control dust from being transported offsite and polluting neighboring properties.

Any person, owner, contractor or operator who conducts earthmoving and/or dust generating activities is responsible for implementing Best Management Practices (BMPs) in order to mitigate off-property transport of fugitive dust emissions.

A plan, or storm water prevention plan (SWPPP) when applicable, listing the Best Management Practices (BMPs), shall be provided to the City Engineer, or their designee for review and

approval. The approved BMPs shall be applied to the graded and/or disturbed soil in order to stabilize the site.

The initial BMP shall address how the Contractor will minimize the amount of disturbed soil, and how the Contractor will stabilize the disturbed surface area exposed to wind or vehicle traffic during construction.

Some BMPs shall include:

- The reduction of vehicle speeds: establish a maximum speed limit or install traffic calming devices to reduce speeds to a rate to mitigate off-property transport of dust entrained by vehicles.
- The minimization of drop height: Drivers and operators shall unload truck beds and loader or excavator buckets slowly, and minimize drop height of materials to the lowest height possible, including screening operations.
- High winds restriction: temporarily halt work activities during high wind events greater than 30 mph if operations would result in off-property transport.
- Restrict access: restrict access to the work area to only authorized vehicles and personnel.

In the event the above practices are ineffective to prevent off property transport, the owner or operator shall use at one or more of the following Best Management Practices (BMPs):

- Wet suppression: apply water to disturbed soil surfaces, backfill materials, screenings, and other dust generating operations as necessary and appropriate considering current weather conditions, and prevent water used for dust control from entering any public right-of-way, storm water drainage facility, or watercourse.
- Wind barrier: construct a fence or other type of wind barrier to prevent wind erosion of the graded or disturbed surface.
- Vegetation: plant vegetation appropriate for retaining soils or creating a wind break.
- Surface roughening: stabilize an active construction area during periods of inactivity or when vegetation cannot be immediately established.
- Cover: install cover materials such as tackifiers, erosion control blankets, gravel, vegetation (when appropriate), cold-millings, etc. during periods of inactivity and properly anchor the cover.
- Soil retention: stabilize disturbed or exposed soil surface areas that will be inactive for more than 30 days or while vegetation is being established.

ENGINEER'S STORMWATER INFRASTRUCTURE CERTIFICATION

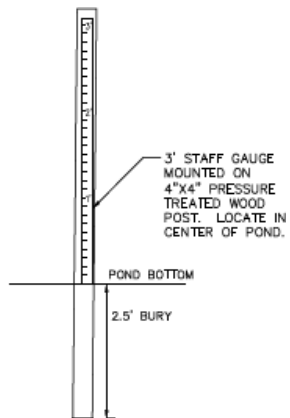
I, the undersigned professional engineer in the State of New Mexico, do hereby certify that the record information shown hereon is based on actual field measurements and visual inspections performed by myself or under my direct supervision. I further certify that the record condition as of _ is in substantial compliance with the approved grading and drainage plan prepared by _____, dated _____.

Signature

NMPE # _____

Date

Example for pond measurement post



POST & STAFF GAUGE
NTS

Development Review Team (DRT) Comment Form

Date: February 20, 2026

DRT Member: Lawrence Rivera

Dept/Div: Landscape, Irrigation, and Outdoor Lighting

Case No.: 2025-11753 Empire Storage Development Plan & 2025-11756 Special Use

Permit Case Planner: Alexa Hempel, Senior Planner, anhempel@santafenm.gov, 505-955-6661

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- Prior Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- At the time of development* -

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Conditions of Approval:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant Response**:
1. Parking lot traffic islands appear to have 60 square feet of permeable surface. Code 14-8.4(H)(4)(IV) requires 90 square feet of permeable surface.	Prior to Recordation	
2. Austrian pine at the main building at the southwest parking space is located too close to the curb and gutter. This tree at that location will cause curb and gutter and parking lot damage. Adjust tree to the center of the landscape area or choose a better size tree for this location. Entrance trees into the parking area should be centered in the planters to prevent future parking lot, curb, and gutter damage.		
3. The Landscape is bunched into the property boundaries, extend the Landscape to the perimeters of the proposed sidewalks at Berry Ave and Fifth St. Review for easements, before plant material and irrigation location placements.		
4. Provide shrubs to the landscape for parking lot screening at Cerrillos Road, Fourth St., and Berry Ave. per city code 14-8.4(H)(3).		
5. Provide frontage landscaping for CRHC zone 1 as required pre code 14-5.5 - HIGHWAY CORRIDOR PROTECTION DISTRICTS (B) CRHC Cerrillos Road Highway Corridor Protection District at the northeast parking lot.		
6. Provide shrub planting within the planter bed along the boundary wall at the northeast parking lot.		
7. Review plantings at traffic sight triangles for height compliance for a 3-8-foot visibility window.		
8. Utilize organic mulch within the landscape particularly at mass plantings. Provide wood mulch shredded or chipped 4-inches in depth without weed fabric.		
9. Provide fencing information and detail.		

10. Irrigation system design is incomplete. Provide the remaining zone layouts.		
11. Provide the correct details from the LIDS manual for the Manual Drain, Backflow Preventer.		
12. Provide a water budget for the first three months of the Turf establishment period.		
13. Turf grass sod or turf grass seed mixes installed within the city limits shall contain no more than twenty-five percent Kentucky Bluegrass.		
14. Photometrics do not meet Code requirements. See Article 14-8.6(D)(2) and revise for compliance. 74-points exceed the maximum illumination for any point. (Highlighted numbers attached are out of compliance)		
STAFF RESERVES THE RIGHT TO REQUIRE ADDITIONAL SUBMITTALS UPON RECEIVING REVISIONS.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

CONSULTANTS

DCLX'DT SS F2 LAND,
L.L.C

PROJECT DESCRIPTION
EMPIRE SELF STORAGE

CITY SANTA FE
STATE NEW MEXICO

ISSUE DATES

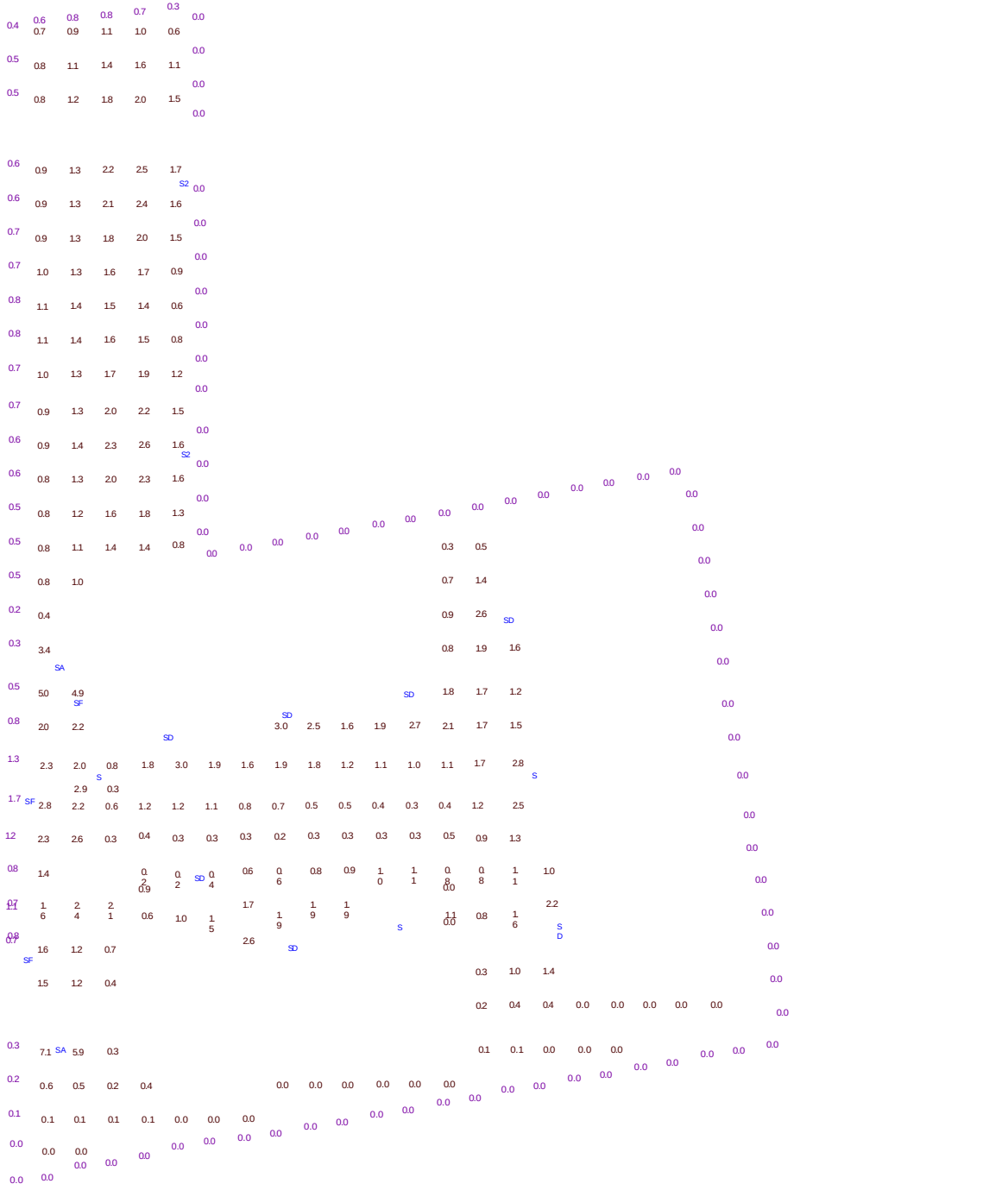
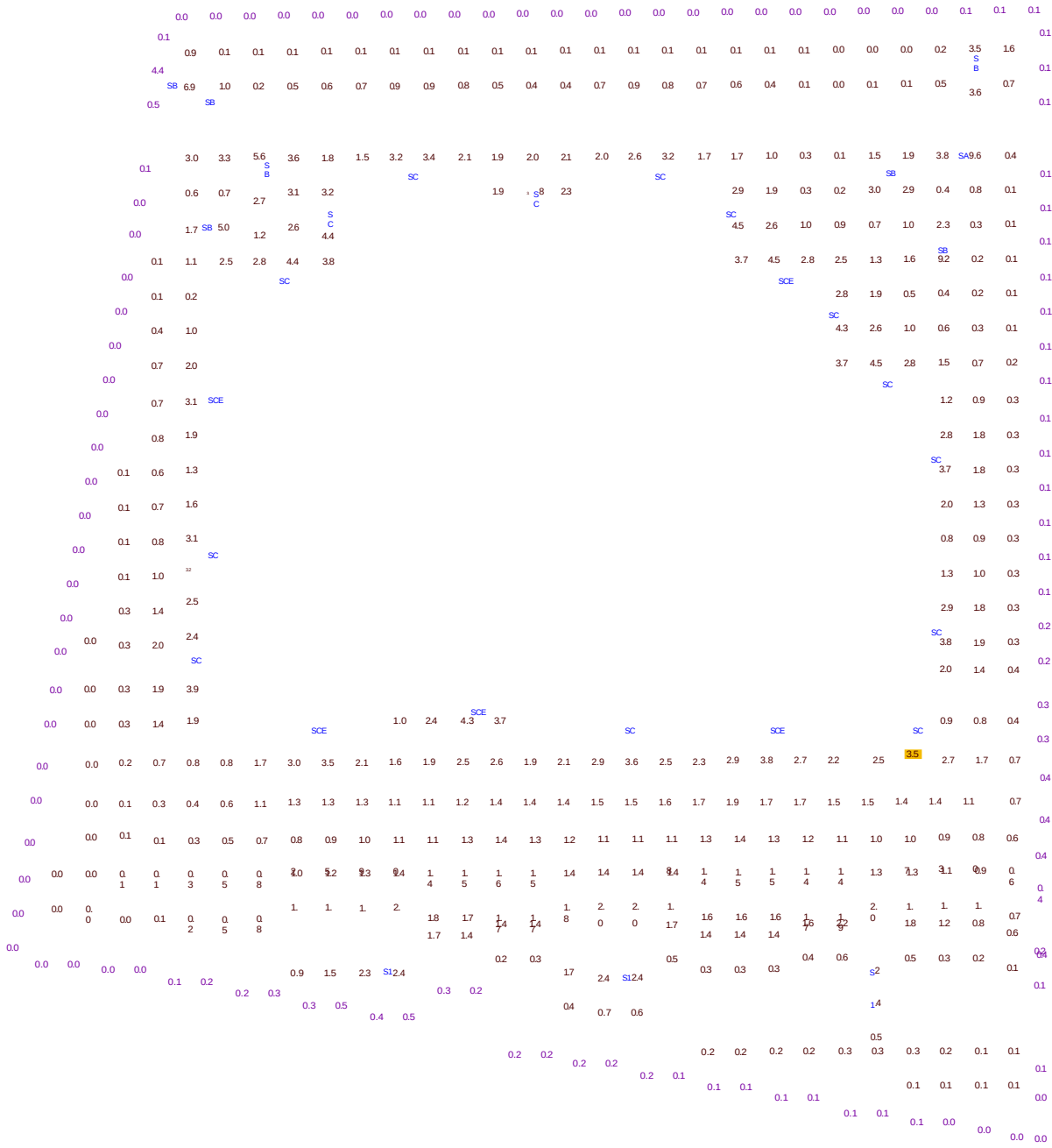
SD	DEVELOPMENT PACKAGE	12/05/2025
MARK	DESCRIPTION	DATE

PROJECT NO: 20253380
DRAWN BY: KS

CHECKED BY: MH
COPYRIGHT:
All plans, specifications, computer files, field data, notes and other documents and instruments prepared by EAPC, as instruments of service shall remain the property of EAPC. EAPC shall retain all common law, statutory and other reserved rights, including the copyright there to.

STAMP

DRAWING TITLE
PHOTOMETRICS

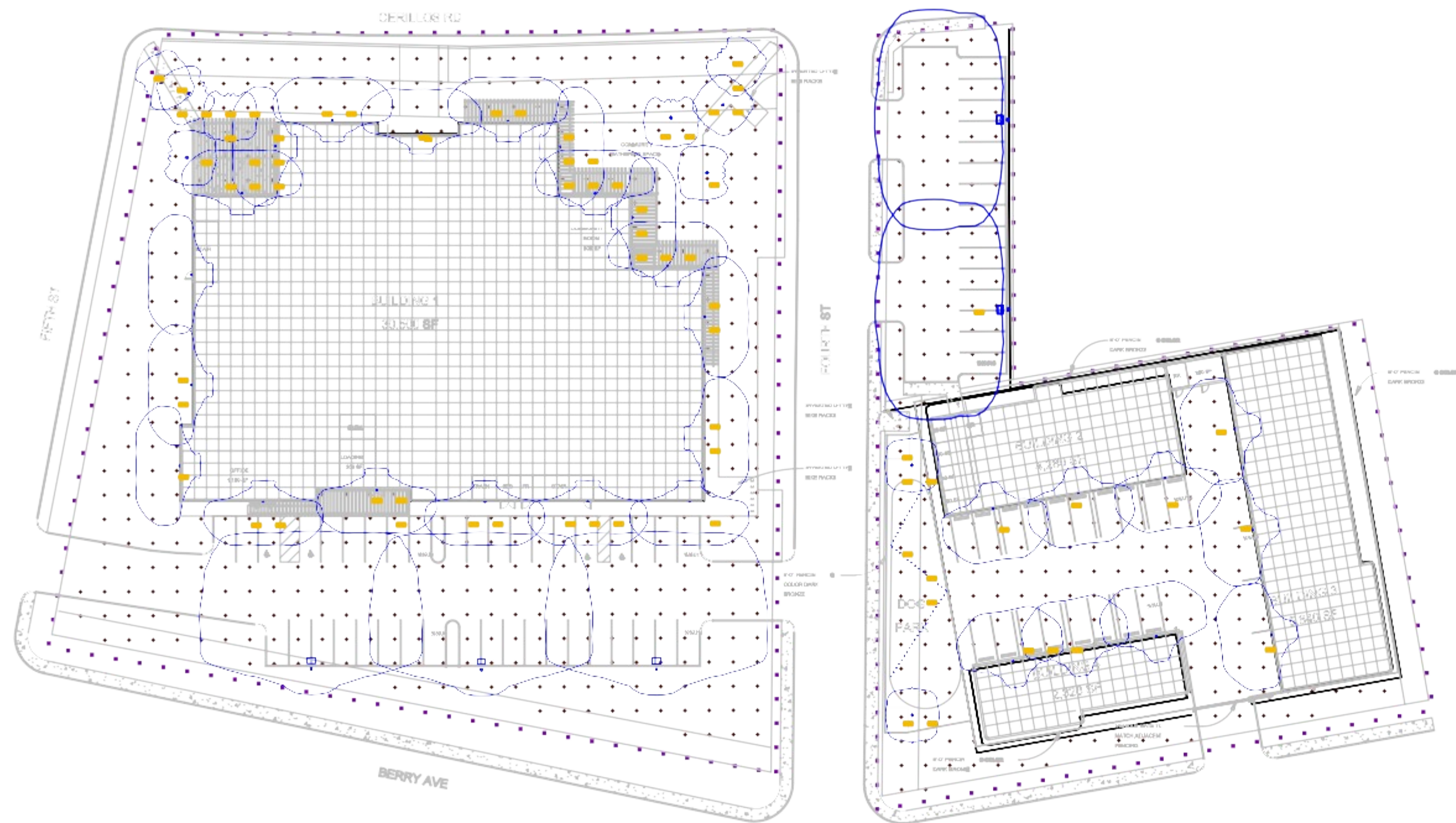


Statistics	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Description						
LIGHT SPILL AT PROPERTY LINE (BLDG 1)		0.1 fc	4.4 fc	0.0 fc	N/A	N/A
LIGHT SPILL AT PROPERTY LINE (BLDG 2, 3 & 4)		0.2 fc	1.7 fc	0.0 fc	N/A	N/A
SITE (BLDG 1) - FC @ GRADE		1.4 fc	9.6 fc	0.0 fc	N/A	N/A
SITE (BLDG 2, 3 & 4) - FC @ GRADE		1.3 fc	7.1 fc	0.0 fc	N/A	N/A

GENERAL NOTES
1. ALL OUTDOOR LIGHTING MUST MEET CITY OF SANTA FE OUTDOOR LIGHTING CODE
SECTION 14-8.9.

Schedule	Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Lumens Per Lamp	Lumen Multiplier	Light Loss Factor	Wattage
		S1	3	LITHONIA	DSX0 LED P5 30K 80CRI TFTM MVOLT SPA HS (FINISH) / SSS 17.5" W/2.5" BASE	AREA LUMINAIRE WITH P5 PERFORMANCE PACKAGE WITH FORWARD THROW OPTICS AND HOUSE SIDE SHIELD. MOUNTED @ 20'-0"	LED - 3000K	9026	1	0.91	90.12
		S2	2	LITHONIA	DSX0 LED P5 30K 80CRI BLC4 MVOLT SPA (FINISH) / SSS 17.5" W/2.5" BASE	AREA LUMINAIRE WITH P5 PERFORMANCE PACKAGE WITH TYPE 4 BACKLIGHT CONTROL. MOUNTED @ 20'-0"	LED - 3000K	7912	1	0.91	90.12
		SA	3	LITHONIA	DSXB LED 16C 350 30K SYM MVOLT	2' H D-SERIES BOLLARD WITH SYMMETRIC DISTRIBUTION	LED - 3000K	1558	1	0.91	20
		SB	7	LITHONIA	(FINISH) DSXB LED 12C 350 30K ASY	2' H D-SERIES BOLLARD WITH ASYMMETRIC DISTRIBUTION	LED - 3000K	1194	1	0.91	16
		SC	14	LITHONIA	MVOLT (FINISH) WEDGE2 LED P2 30K 80CRI T3M MVOLT SRM (FINISH)	WALL MOUNT WITH P2 PERFORMANCE PACKAGE - 3000K - TYPE 3M. MOUNTED @ 8'-0"	LED - 3000K	1964	1	0.91	18.9815
		SCE	5	LITHONIA	WEDGE2 LED P2 30K 80CRI T3M MVOLT SRM E20WC (FINISH)	WALL MOUNT WITH P2 PERFORMANCE PACKAGE, TYPE 3M OPTICS AND EM BATTERY PACK. MOUNTED @ 8'-0"	LED - 3000K	1964	1	0.91	18.9815

E.101 $1'' = 30^{\circ}-0''$



SD SF	9	LITHONIA	W/DGE2 LED P2 30K 80CRI T4M MVOLT SRM (FINISH)	WALL MOUNT WITH P2 PERFORMANCE PACKAGE - LED - 3000K - TYPE 4M. MOUNTED @ 8'-0"	1922	1	0.91	18.9815
	53	ALUZ	A5-ZOZO-FLT 24" 27K-GSFL-3W WET (LENGTH) / RSS 10'-0" POLE	STRING / FEESTOON LIGHTS. MOUNTED @ 8'-0"	LED - 2700K	247	1	0.91

E.101

<!-- Grid for drawing --> <!-- Drawing content --> 	
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[illegible]



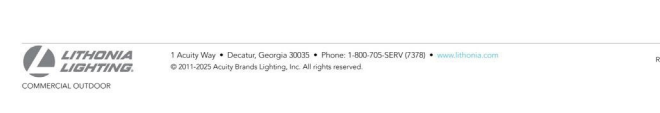
 **LITHONIA
LIGHTING**

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DS0043
Rev. 05/28
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COMMERCIAL OUTDOOR



	light output	50% controlled by secondary circuit		
--	--------------	-------------------------------------	--	--

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LITHONIA LIGHTING.
 COMMERCIAL OUTDOOR

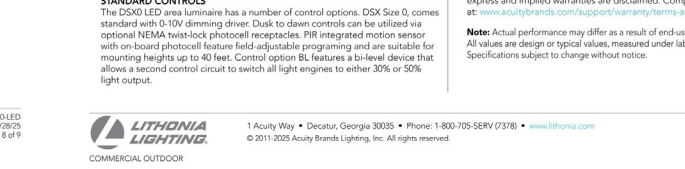
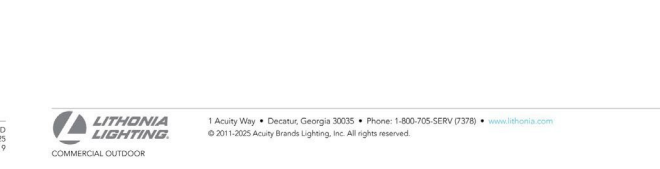
D50-LED
 Rev. 06/2023
 Page 4 of 9

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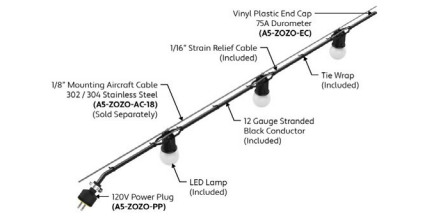


...ured in the United
...on also qualifies
...uld America, Buy

PROJECT DESCRIPTION

EMPIRE SELF STORAGE

STAMP _____



CANOPY OPTIONS (Click Image to See Individual Submittal)



SPECIFY PRODUCT CODE | CHOOSE FROM DROP DOWNS

Series	Spacing	Lamp	Dimming	Listing	Luminaire Length
Standard (No Canopy) (A5-ZOZO-STN)	Ball Canopy (A5-ZOZO-BLL)	12" on Center (12")	2700K, G-Shape (27K-GSF)	1000K, G-Shape Filament (10K-GSFL)	Forward Phase Indoor (DPF)
Round Canopy (A5-ZOZO-RNG)	Flat Canopy (A5-ZOZO-FLT)	18" on Center (18")	5000K, G-Shape (50K-GSF)	2700K, S-Shape Frosted (27K-SFF)	2700K, S-Shape Frosted (27K-SFF)
Round Canopy with Cage (A5-ZOZO-RNG-C)	Flat Canopy (A5-ZOZO-FLT)	36" on Center (36")	Red, G-Shape (R-GSF)	Orange, S-Shape Frosted (OR-SFF)	Orange, S-Shape Frosted (OR-SFF)
Cone Canopy (A5-ZOZO-CON)	Flat Canopy (A5-ZOZO-FLT)	36" on Center (36")	Green, G-Shape (G-GSF)	Orange, S-Shape Frosted (OR-SFF)	Orange, S-Shape Frosted (OR-SFF)
Cone Canopy with Cage (A5-ZOZO-COC)	Flat Canopy (A5-ZOZO-FLT)	48" on Center (48")	Blue, G-Shape (B-GSF)	2700K, S-Shape Clear (27K-SSC)	2700K, S-Shape Clear (27K-SSC)
Mesh Canopy (A5-ZOZO-MSH)	Flat Canopy (A5-ZOZO-FLT)	60" on Center (60")	Amber, G-Shape (A-GSF)	5000K, S-Shape Clear (50K-SSC)	5000K, S-Shape Clear (50K-SSC)
Barrel Canopy (A5-ZOZO-BRL)	Flat Canopy (A5-ZOZO-FLT)	2400K, G-Shape Filament (24K-GSFL)	Red, S-Shape Clear (R-SSC)	Red, S-Shape Clear (R-SSC)	Red, S-Shape Clear (R-SSC)
Hat Canopy (A5-ZOZO-HAT)	Flat Canopy (A5-ZOZO-FLT)	2700K, G-Shape Filament (27K-GSFL)	Green, S-Shape Clear (G-SSC)	Green, S-Shape Clear (G-SSC)	Green, S-Shape Clear (G-SSC)
		3000K, G-Shape Filament (30K-GSFL)	Blue, S-Shape Clear (B-SSC)	Blue, S-Shape Clear (B-SSC)	Blue, S-Shape Clear (B-SSC)
		5000K, G-Shape Filament (50K-GSFL)	Amber, S-Shape Clear (A-SSC)	Amber, S-Shape Clear (A-SSC)	Amber, S-Shape Clear (A-SSC)
		6000K, G-Shape Filament (60K-GSFL)	No Lamp(s) (NL)	No Lamp(s) (NL)	No Lamp(s) (NL)

* Lighting will be shipped without lamps.

1170 N Red Gum St, Anaheim, CA 92806

aluz.lighting info@aluz.lighting 866.ALUZ.LTG | 714.535.7900

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Specification Submittal

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LAMP OPTIONS



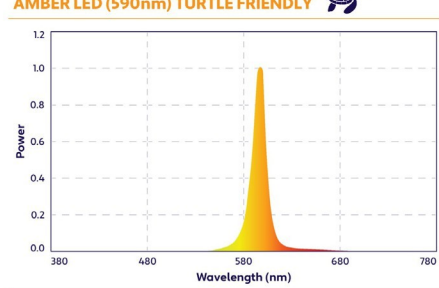
Lamp Name & Product Code	G-Shaped Lamp (GSF)	G-Shaped Filament Lamp (GSFL)	S-Shaped Lamp (SSF)	S-Shaped Clear Lamp (SSC)
Lamp Type	Standard LED	Filament LED	Standard LED	Standard LED
Material	Polymer Plastic	Shatterproof Glass	Polymer Plastic	Polymer Plastic
Lamp Life	20,000 hrs.	25,000 hrs.	20,000 hrs.	20,000 hrs.
CRI	80	90	75	80
Lumens	42	256	42	42
Beam Angle	360°	360°	360°	360°
Appearance	Frosted	Clear	Frosted	Clear, Textured
CCT & Colors	27K, 50K, R, G, B, A	24K, 27K, 30K, 35K, 40K, 50K	27K, 50K, OR	27K, 50K, R, G, B, A
Lamp Watts	1W	3W	1W	1W

Note: Lamp dimensions are subject to change without notice. +/- 0.25 Wattage Tolerance. CRI is based on 5.0K GSFL, 5.0K SSF, and 5.0K SSC.

LAMP SPECIFICATIONS

Lamp Number	Correlated Color Temperature	Description	Available Lamp Shapes
24K	2400 Kelvin	Incandescent White	(GSFL)
27K	2700 Kelvin	Warm White	(GSFL), (GSFL), (SSF), (SSC)
30K	3000 Kelvin	Warm White	(GSFL)
35K	3500 Kelvin	Neutral White	(GSFL)
40K	4000 Kelvin	Neutral White	(GSFL)
50K	5000 Kelvin	Cool White	(GSFL), (GSFL), (SSF), (SSC)
R	Red	621nm	(GSFL), (SSC)
G	Green	525nm	(GSFL), (SSC)
B	Blue	470nm	(GSFL), (SSC)
A	Amber	590nm	(GSFL), (SSC)
OR	Orange	610nm	(SSF)

SPECTRAL POWER DISTRIBUTION
AMBER LED (590nm) TURTLE FRIENDLY



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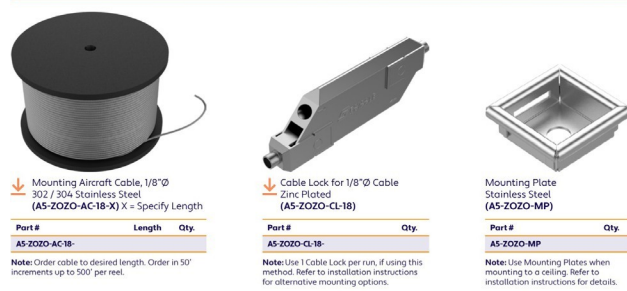
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ACCESSORIES (Sold Separately)



MOUNTING ACCESSORIES (Sold Separately - Click Image to See Cut Sheet, If Applicable)



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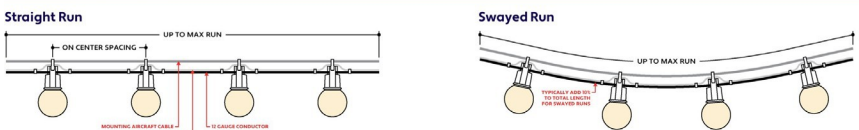
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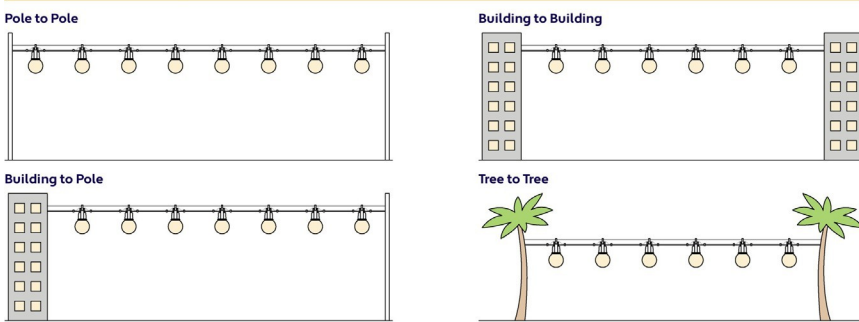
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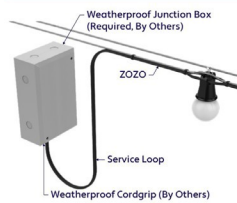
DESIGN GUIDELINES



INSTALLATION OPTIONS



HARDWIRE INSTALLATION (Wet Location)



INSTALLATION RECOMMENDATIONS

- Determine weight of string light that will be used.
- Determine length of string light and multiply by weight.
- An engineer must choose the proper aircraft cable to handle the tension, based on length and weight to prevent product from sagging.
- An engineer must determine the strength of the structure where the cable will attach, based on tension calculation from previous step.
- If installing on a pole, check with pole manufacturer to confirm the pole can handle the tension.
- String light is hung to the above aircraft cable using the hooks. Secure hooks to aircraft cable by crimping or using stainless steel tie wraps.
- The supplied aircraft cable is designed to prevent strain on the wire. An additional aircraft cable is required to hang string light.

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Specification Submittal

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5 / 2 / 2025 / Rev 17

TELE 701.461.7222

112 No Roberts Street, Suite 300, Fargo ND 58102

www.eapc.net

CONSULTANTS

CLIENT

DXD SS F2 LAND, L.L.C

PROJECT DESCRIPTION

EMPIRE SELF STORAGE

CITY

SANTA FE

STATE

NEW MEXICO

ISSUE DATES

SD	DEVELOPMENT PACKAGE	12/05/2025
----	---------------------	------------

PROJECT NO: 20253380

DRAWN BY: KS

CHECKED BY: MH

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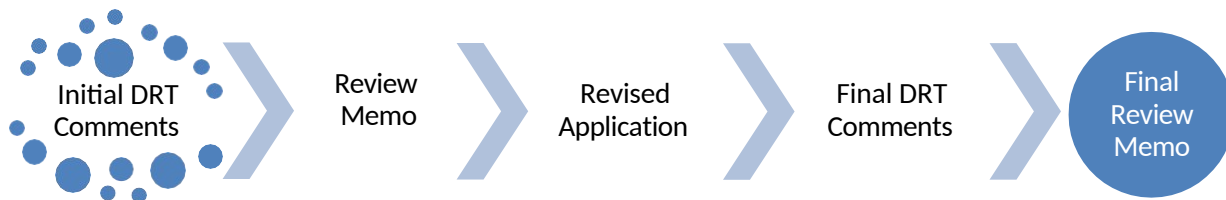
DRAWING TITLE

LIGHTING CUT SHEETS

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the 2024 Development Review Schedule for

details DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due

Date: 02/09/2026

DRT Member: Clinton Peterson

Dept/Div: Public Utilities/Water

Division Case No.: 2025-11753 and #2025-

11756

Case Planner: Alexa Hempel

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case # 2025-11753 and #2025-11756

Conditions of Approval:	Must be completed by:	Applicant response**:
1. An approved Water Plan will be required for all new public water infrastructure and fire services.	Prior to Public Hearing	
2. An approved Agreement to Construct and Dedicate (ACD) will be required with the Water Division for all new public water infrastructure and fire services.	Prior to Building Permit Approval	
3. A separate irrigation meter will be required if the total landscaped area is 1,000 square feet or greater. An approved backflow prevention device shall be installed beyond the meter on any new irrigation service.	At the time of development	
4. Any re-grading of site over existing water mains shall maintain a minimum of 4 feet of cover and not exceed 5 feet of cover. Depth of existing main to be adjusted to maintain a minimum of 4 feet of cover and not exceed 5 feet of cover if site grading impacts these depth requirements.	At the time of development	

Technical Corrections:	Must be completed by:	Applicant response**:
1. Applicant and City Water staff will work together to address main looping during the review of the water plan (see attached memo)	Prior to water plan approval	

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)



City of Santa Fe Water Division Looping Requirement

The mission of the Water Division is to provide a safe, reliable, and resilient water supply to meet Santa Fe's needs. In design of the City's water distribution system, relevant pieces of this mission are achieved by, among other things, following best practices of looping water lines and avoiding dead end lines. These key distribution design paradigms help maintain water quality (safe) and provide redundancy of supply (reliable). Water distribution lines are installed by developers to Water Division specifications and standards and subsequently maintained by the Water Division. The Water Division does not generally install new extensions to water distribution lines.

Based on the location of this development, there is a possibility that the Water Division will require multiple points of connection to the public water system, or to "loop" the line.

Primary reasons for looping water main extensions are as follows:

- To reduce risk to the health and safety of our customers. Dead-end mains have less water turnover than looped mains, thus increasing the risk of bacteria development from stagnant water. Looping mains within the system when possible is a way to provide better water quality to our customers.
- Looping mains together provides better flows for fire hydrants in the event of an emergency.
- Looping provides redundancy in the event of a main break.

The details of our line extension policy can be found in [Chapter 25, Exhibit A, Rule 19](#) of the City of Santa Fe City Code, available online. Design criteria and construction standards are available on the Water Division's website. Comments from Water Division engineers are generally provided as part of the water plan review process following the submission of a first draft of the proposed water plan. The Water Division Engineering Section also meets weekly to discuss topics related to current developments, and developers working on projects with the City may join these meetings to discuss project details, including looping requirements. If you are interested in attending a weekly meeting or if you have any questions about the water plan review process, feel free to contact a Water Division Engineer.

Development Review Team

Comment Form

Date: February 24, 2026

Staff person: Alan G. Hook

Dept/Div: Public Utilities/ Water Division

Case: **Case #2025-11753 & #2025-11756 1802 Cerrillos Road**

Case Mgr: Alexa Hempel



Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval:

Must be completed by:

1 An approved Development Water Budget including a 9.8% contingency per SFCC 14-7.7 will be required. A technical evaluation request for a Development Water Budget needs to be submitted to the City Water Division for review.	Prior to Planning Commission packet submittal.
2. An applicant may choose to develop a detailed, alternative Development Water Budget for the development project supported by <u>reliable data</u> that demonstrates that the anticipated annual water use will be less than if based on the Water Division's standard formulas per SFCC 14-7.7(D)(2).	Prior to Planning Commission packet submittal.
3 An Agreement to Construct and Dedicate (ACD) from the Water Division will be required for all new public water infrastructure or fire services. An approved Development Water Budget, including Landscape Irrigation Budget and a 9.8% Contingency is required prior to processing the ACD.	Prior to Recordation of Development Plan or Plat.
4 Each lot shall be served by separate water service at the time of development.	Prior to construction permit approval.
5 An agreement for metered service (AMS) will be required to install new services, including water offset fees.	Prior to construction permit approval.

The applicant should be aware that the following city code provisions or other requirements will apply to future phases of development of this project:

- A. Water rights proposed to be transferred to the city's water system for dedication to a development shall be tendered to the City of Santa Fe at whichever review stage is applicable and occurs first in the review of a particular development, according to the following requirements per SFCC 25-12.4:
 - 1) Not later than sixty (60) days after the final land use approval of the final development plan by the planning and land use department, the planning commission or the governing body.
- B. A construction permit application shall not be approved until the applicant has dedicated water to meet the approved development water budget for the development project plus a 9.8 percent contingency that covers water utility delivery requirements, as documented by the Water Division designation form and complied with the conditions thereof per SFCC 14-7.7 E1.

ACD PACKET CHECK-OFF SHEET

This sheet contains a list of required information for processing Agreements to Construct and Dedicate Public Improvements (ACD).

***Please submit this sheet with the packet.**

Check if submitted:

☒ Developer Information Sheet

☒ Utility Service Application

☐ Utility Contractor Price Quote

☒ Copy of Plat

☐ Approved Water Plan Drawing Number _____

☒ Approved Development Water Budget, including Landscape Irrigation Budget and a 9.8% Contingency

☐ Fee Waiver Application Approved by the Office of Affordable Housing

☐ SFHP, Not Applicable

COUNTY PROJECTS ONLY:

☐ City Council Approval Date _____

NOTE:

Applications will NOT be accepted for submittal unless ALL applicable items on this check list are completed and/or attached.

DEVELOPER INFORMATION SHEET

Developer's Name: DXD SS F2 Land, LLC

Address: P.O. Box 5587

Telephone #: (505) 303-0779

Contact Person: Lisa D. Martinez, Land Use Planning Consultant to Empire Self Storage

Legal Description of Property: 1802 Cerrillos, 1750 Cerrillos, 1361 Fourth Street, 3RD Berry Avenue – See attached Legal Description/Legal Lot of Record Documentation for each parcel

Plat Recording Date (month, day & year): Parcel 1: July 22, 1998; Parcel 2: March 31, 1978;

Parcel 3: July 22, 1998; Condemnation Parcel 4-1: July 22, 1998; Condemnation Parcel 4-4:

July 22, 1998

Record Book #: Parcel 1: Book 391, Page 028 Document No. 1033,815; Parcel 2: Book 62,

Page 7 Document No. 417,951; Parcel 3: Book 391, Page 028 Document No. 1033,815;

Condemnation Parcel 4-1: Book 391, Page 028; Condemnation Parcel 4-4: Book 391, Page

028; ALSO SEE ATTACHED LEGAL LOT OF RECORD DOCUMENTATION: The Capital Land and Townsite Co. Addition Plat dated June 18, 1909 and recorded in Book 1 at Page 119

establishes a legal lot of record for each of the four parcels identified above.

Record Page #: See Above

Present Owner of Property (exactly as shown): Amatren LLC

Project Name: Empire Self Storage

Proposed Date of Completion (month & year): November 1, 2027

Developer Engineer Name: Souder, Miller & Associates

Address: 5454 Venice Avenue NE, Suite D Albuquerque, NM 87113

Telephone #: (505) 299-0942

Contact Person: _____

Developer Water Utility Contractor Name: TBD

Address: _____

Telephone #: _____

Contact Person: _____

Construction Starting Date: October 1, 2026

Type of Business Entity (NM Corporation, General Partnership, LLC, Individual, etc.):

LLC

NOTE:

1. Developer must fill out all the information above.
2. A Performance Bond from the Contractor, Certificate of Insurance and a check in the amount listed on Page 2 of Agreement to be supplied by the Developer.
3. SDCW requires contractor bid sheets (use SDCW format)
4. Developer is responsible for advising SDCW on proposed changes in start date to ensure availability of SDCW construction Inspector.

SDCW USE ONLY

Date Received: _____

Project Name: _____

Fire Hydrants: **YES** or **NO** **CITY** or **COUNTY** Quantity:_____

Drawing #: _____

W.O. #: _____

Inspector: _____

City of Santa Fe, New Mexico
UTILITY SERVICE APPLICATION

***Fill in all highlighted fields on this application. Applicant must sign and date application.**

Check one only: ☐ Water Service Technical Evaluation Request
 ☐ Agreement for Metered Service (AMS)
 ☒ **Agreement to Construct and Dedicate Public Improvements (ACD)**
 ☐ Annexation Application Water Budget
 ☐ Water Offset Program/Water Rights Compliance Evaluation Request

WORK ORDER # _____

Applicant Name: Empire Self Storage

Project Address: 1750/1802 Cerrillos Rd, 1361 Fourth St., 3RD Berry Ave Santa Fe, NM. 87505

***Required - Attach a Plat of the Property (legal lot of record and proposed development)**

Plat Filing Information: Year _____ Book 1 Page 119 Township, Range, Section: See attached LLOR Docs.

Location: (check one only) Inside Corporate City Limits ☒ Outside Corporate City Limits _____

Property Uniform Property Code: 1802 Cerrillos: 10685824, 1750 Cerrillos: 16008891, 1361 Fourth Street: 18312262, 3RD Berry Avenue: 12776860

Existing Well: Yes _____ No ☒

Legal Description including lot size: 2.72 Acres

Short Description of Project: The aforementioned properties are proposed to be utilized by DXD Self Storage as a redevelopment of the former Empire Builders building and two adjacent lots. It is proposed as a mixed use project, including a 3-story (basement + two levels above grade), 95,400 GSF Class A self-storage facility, community office spaces, and an indoor/outdoor gathering area. The two adjacent lots will complement the anchor use by including a ± 13,500 sf public dog park, additional creative workshop and storage spaces, and a new parking area to serve tenants and visitors.

Construction Start Date: October 1, 2026

***RESIDENTIAL PROJECT - Complete the following**

1. Type of project: (i.e. Single Family Residence, Subdivision, Lot split, Apartments) _____

2. Total number of lots approved on final plat/development plan: _____

3. Total number of homes existing or under construction: _____

4. Size of service requested: (5/8", 3/4", 1" or 2") _____

***Please fill in all categories below that apply for which water service is requested:**

--- COMPLETED BY APPLICANT ---

**Number of
Lots or Units**

_____ Single Family Dwelling Unit, lot size less than 6,000 sq. ft.
_____ Single Family Dwelling Unit, lot size 6,000-10,890 sq. ft.
_____ Single Family Dwelling Unit, lot size greater than 10,890 sq. ft.
_____ Mobile Home (in Mobile home park)

--- COMPLETED BY STAFF ---

Water Use Factors	Annual Water Demand
----------------------	------------------------

.15 afy per d.u.	
.17 afy per d.u.	
.25 afy per d.u.	
.17 afy per d.u.	

Accessory Dwelling Unit	.09 afy per d.u.
Apartment/Condominium	.16 afy per d.u.
Senior Complex	.12 afy per d.u.

Total

Total Residential Water Demand _____ AFY

**City of Santa Fe, New Mexico
UTILITY SERVICE APPLICATION**

***COMMERCIAL PROJECT - Complete the following**

Type of Project: (i.e. Office, Retail, Mixed, etc.) Mixed-Use

Total gross floor area of building: 95,400 GSF Class A Self-Storage; + 12,758 SF Workshops

Total area of lot, tract or parcel: 2.72 acres

Automatic Fire Sprinkler System: Yes

Building Construction Type:

Building Square Footage: + 95,400 GSF Class A Self-Storage; & + 12,758 SF

Workshops Site Plan Attached: X Yes No

*Please check all use categories below that are planned for the building and the gross floor areas of each use within the proposed building.

---- COMPLETED BY APPLICANT ----

Check Type of Use	Gross Floor Area
Commercial	

<u> X </u> Office–Non-medical (within Storage Building: Community Room 900 SF; Community Restroom 100 SF; Building 2 Workshop 3705 SF; Building 2 Offices (incl. Restroom) 575 SF; Building 3 Workshop 5,840 SF; Building 4 Workshop 2,328 SF; Restroom/MEP 310 SF; Parcel 1: Subtotal 95,400; Parcel 2: 12,758 Total: 108,158 SF	
<u> </u> Medical Office	_____
<u> </u> Office – City/State	_____
<u> </u> Research and Development Lab	_____
<u> </u> Manufacturing – Goods	_____
<u> </u> Manufacturing – Consumables	_____
<u> </u> Laundromat, Commercial	_____
<u> </u> Laundromat, Other	_____
<u> </u> Drycleaner	_____
<u> </u> Plant Nursery	_____
<u> </u> Gyms with showers	_____
<u> </u> Gyms without showers	_____
<u> </u> Salons	_____

---- COMPLETED BY STAFF ----

<u>Water Use Factors</u>	<u>Annual Water Demand</u>
--------------------------	----------------------------

(0.70 afy per 10,000 s.f.)	<u>See attached alt. calc.</u>
(0.72 afy per 10,000 s.f.)	_____
(0.58 afy per 10,000 s.f.)	_____
(1.18 afy per 10,000 s.f.)	_____
(0.21 afy per site)	_____
(2.33 afy per site)	_____
(0.78 afy per machine)	_____
(0.22 afy per machine)	_____
(0.41 afy per site)	_____
(0.56 afy per 10,000 s.f.)	_____
(8.94 afy per site)	_____
(0.77 afy per site)	_____
(0.21 afy per site)	_____

☐ Pet Grooming	(0.52 afy per site)	☐
☐ Pet Daycare	(0.11 afy per site)	☐
☐ Retail, Large (Individual stores or shopping areas > 75,000 sq ft)	(0.45 afy per 10,000 s.f.)	☐
☐ Neighborhood Center/Medium Retail (Individual stores or shopping areas 75,000-25,000 sq ft)	(0.43 afy per 10,000 s.f.)	☐
☐ Retail, Small (Individual stores or shopping areas < 25,000 sq ft)	(0.06 afy per site)	☐
☐ Gallery	(0.60 afy per site)	☐
☐ Grocery Store	(1.27 afy per 10,000 s.f.)	☐
☐ Restaurant (full service)	(0.02 afy per seat)	☐
☐ Restaurant (limited service)	(1.63 afy per Site)	☐
☐ Gasoline Station w/ Car Wash	(6.56 afy per Site)	☐
☐ Gasoline Station	(0.88 afy per Site)	☐

~~City of Santa Fe, New Mexico~~
UTILITY SERVICE APPLICATION

☐ Car Wash (full service)	☐	(5.66 afy per Site)	
☐ Car Wash (limited service)	☐	(0.94 afy per Wash Bay)	
☐ Auto Repair		(0.12 afy per site)	
☐ Car Rental		(0.12 afy per site)	
☐ Car Sales		(0.07 afy per 10,000 s.f.)	
☒ Self Storage (Upper Level 30,500 SF; Ground Level 29,500 SF; Lower Level 34,400 SF)		(0.13 afy per site)	<u>See attached alt. calc.</u>
☐ Wholesale, Warehousing		(0.4 afy per 10,000 s.f.)	
☐ Industrial, Manufacturing		(applicant estimate of water use)	☐ e)
☐ Church w/ day care or school	☐	(1.3 afy per Site)	
☐ Church w/o day care or school		(0.6 afy per Site)	
☐ Hotel	No. of rooms	(.13 afy per room)	
☐ Motel	No. of rooms	(.09 afy per room)	

Public Services

School, Elementary			
☐ School, Middle or Junior High		(0.53 afy per 100 students)	
☐ School		(1.68 afy per 100 students)	
☐ Schools, Daycare		(2.64 afy per 100 students)	
☐ Places of Worship		(0.15 afy per site)	
☐ With Daycare and school		(0.95 afy per site)	
☒ Parks (Dog Park)	2500 SF	(1.48 afy per acre)	<u>See attached alt. calc.</u>
☐ Other (not listed above)	Please attach	(with attachment)	

water demand calculations and assumptions used

Total Floor Area: 108,158 SF
(Parcel 1 & Parcel 2); 2500 SF Dog Park

Total Commercial Water Demand 1.22 AFY
(See Attached Alternate Water Use Calculation)

Total Landscaping Water Demand 0.32 AFY
(See Attached Alternate Water Use Calculation)

9.8% Contingency 0.15 AFY

TOTAL PROJECT WATER DEMAND 1.69 AFY

.....

OWNER: Amatren LLC (Frank W. Culver) Mailing Address: P.O. Box 5587 Phone Number: _____ Mobile Number: (505) 690-4833	*Only If Applicable AGENTS: Lisa D. Martinez, B Constructiv LLC & Joseph Karnes, Sommer Karnes Assoc. Title: Land Use Planning Consultants to Empire Self Storage Mailing Address: 3201 C Zafarano Dr. #111 Santa Fe, NM. 87507 Phone Number: (505) 470-7888 Mobile Number: (505) 470-7888
Information Provided By: Check one: Owner _____ Agent <u> X </u>	
Signature: <u>Lisa D. Martinez</u> Date: Initial Application: 12/7/2025	
Technical Evaluation to be Sent to: Check one: Owner _____ Agent <u> X </u>	

COMMENTS: _____

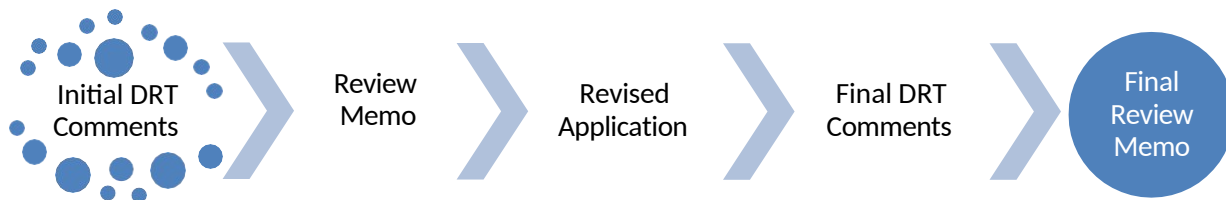
APPLICANTS, PLEASE NOTE:

- If the project is located within the Historic District and a hotbox for a backflow preventer is required, the Historic Preservation Division must be contacted at (505) 955-6605 to coordinate the hotbox location.
- Ordinance 2008-53, prohibits new connections outside the presumptive city limits including the Agua Fria traditional historic community (AFTHC) unless specific conditions are met. Applications for service outside the presumptive city limits and AFTHC must include documentation showing these conditions are met or the application will be rejected. The documents required are shown below:
 - o A map of the proposed project in relation to the existing city limits and the presumptive city limits.
 - o A detailed description of the proposed development including the type and size of proposed land uses.
 - o The health, safety and welfare or other legal reason for the connection.
 - o A site water budget.
 - o Documentation from the County of Santa Fe that county water service is not available, if applicable.
 - o Documentation from the wastewater division regarding sewer availability.
 - o A certified Santa Fe Homes Proposal as set forth in Section 14-8.11 SFCC 1987 if applicable.

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the 2024 Development Review Schedule for

details DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due
	2/9/26	2/20/26

Date: 2/10/26

DRT Member: Alexa Hempel

Dept/Div: Current Planning

Case No.: #2025-11753/11756

Case Planner: Alexa Hempel

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1. Sign dimensions proposed in architectural plans are too large per 14-8.10(G)(8)(a): "For C-2, SC, and I properties located within the Cerrillos Road highway corridor protection district, the following standards shall apply: For one business establishment on a legal lot of record, not more than three signs are allowed, no one of which shall exceed fifty (50) square feet in area in corridor zone one. The total allowable sign area for all three signs shall not exceed one hundred fifty (150) square feet." Revise sign sizing to meet this code criteria.	At time of Sign Permit	
2. Consolidate all lots of Block 2 in "The Capital Land and Townsite Co. Addition to Santa Fe NM"	Prior to Recording Development Plan	
3. Consolidate Lots 13-20 of Block 3 in "The Capital Land and Townsite Co. Addition to Santa Fe NM"	Prior to Recording Development Plan	
4. Provide appropriate documentation connecting Lot 1 to the rest of the Development Plan in perpetuity	Prior to Recording Development Plan	
5. Delete list of Conditions of Approval on DP-102 for now. I will let you know what conditions should be on there after we go to Planning Commission	Prior to Planning Commission	
6. Fence around Site 2 mini storage units shall provide a visual buffer or screen and be constructed of opaque materials per SFCC 14-6.2(D)(3). Provide an elevation/detail of the proposed fencing material.	Prior to Recordation	
7. Is fence 6 or 8 feet tall? DP says 6 ft and architectural plans say 8ft. Please revise to match.	Prior to Planning Commission	
8. Architectural plans need to be updated to match revised building placement on Site 2 for setbacks.	Prior to Planning Commission	
9. Architectural plans showing the layout/number	Prior to Planning	

Form Updated: April 2024

of storage units on each floor is missing in new set. Please add this back in.	Commission	
10. A mural is included in the architectural renderings, but not architectural elevations. Please revise to match	Prior to Planning Commission	
11. Provide architectural elevations for buildings 2, 3, and 4	Prior to Planning Commission	
12. Is this project planned to be built in phases? If so, provide a phasing plan.	Prior to Planning Commission	

Technical Corrections:	Must be completed by:	Applicant response**:
1. DP-103: Open Space – incorrect code citation. Change to SFCC 14-7.5(D)	Prior to Planning Commission	
2. Add descriptions/dimensions of all open space provided (might be easier to visually depict on a new sheet)	Prior to Planning Commission	
3. DP-103: Parking – delete “parks & open space – as determined by the city”	Prior to Planning Commission	
4. DP-101: Fill in floodplain note #17	Prior to Planning Commission	

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

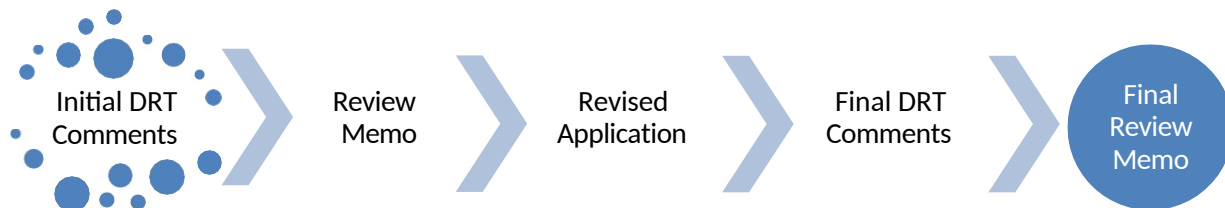
Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

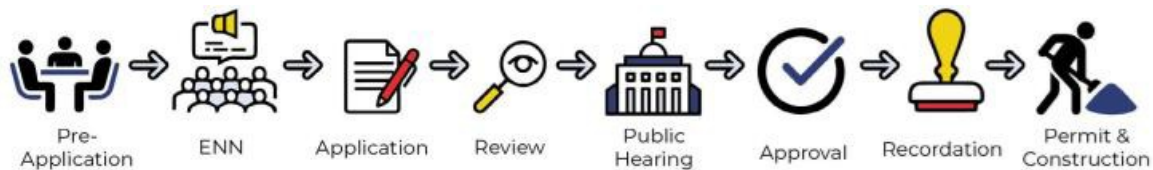


Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

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- During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the 2024 Development Review Schedule for

details DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due

Date: April 7, 2026

DRT Member: Geronimo Griego, Fire Marshal

Dept/Div: Fire Prevention Division

Case No.: 2025-11753_2025-11756_1802 Cerrillos_EmpireStorage_DP_SUP (Revised)

Case Planner: Alexa Hempel-Senior Planner

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1. Shall reference correct year of IFC (C-100) and Appendix B for average-sprinkler reduction (FC-101)	<i>Prior to Public Hearing</i>	
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

IFC 2015 is the wrong referenced fire code. The city of Santa Fe most currently adopted fire code is IFC 2021. Also look at the most recently adopted fire code for the correct reference Appendix B Table B105.1 (1)

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

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- Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the 2024 Development Review Schedule for

details DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due
2/9/26 by SF MPO	2/9/26 by SF MPO	

Date: 2/16/26 4/16/26

DRT Member: Erick Aune & Carrie Tremblatt

Dept/Div: Santa Fe MPO

Case No.: Case #2025-11753

Case Planner: Alexa Hampel

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1. Sidewalk should align with Cerrillos Road Plan specs and city street design standards which require 5' landscape buffer between street and pedestrian path (See comments on plans for detail). Sidewalk width should be at least 6', but also made as wide as possible on Cerrillos. FHWA and AASHTO guidance support a separated bike facility given the vehicle speeds and volumes here. By expanding the sidewalk to the minimum for a shared use path (10') this would better align with federal guidance.	Prior to planning commission	
2. Driveway conflicts on NW Fourth street should be minimized by consolidating driveways or minimizing the driveway width to ensure one-way circulation	Prior to planning commission	
3. Ensure safe pedestrian access to site from each street frontage and sidewalk and also between all 3 parcels. How are conflicts between cars and pedestrians crossing 4th from parking on site 1 to site 2 going to be managed and minimized? Crosswalk should be setback from driveways at least 20 feet.	Prior to planning commission	
4. Pedestrian Access Routes should aim for right angles. Skewed angles can be challenging for wheelchairs to maneuver safely. Minimize awkward angles and ensure there is sufficient landing pad for maneuvering	Prior to planning commission	
5. Provide conversations with NMDOT so City staff can better understand NMDOT recommendations for this project.	Prior to planning commission	
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		

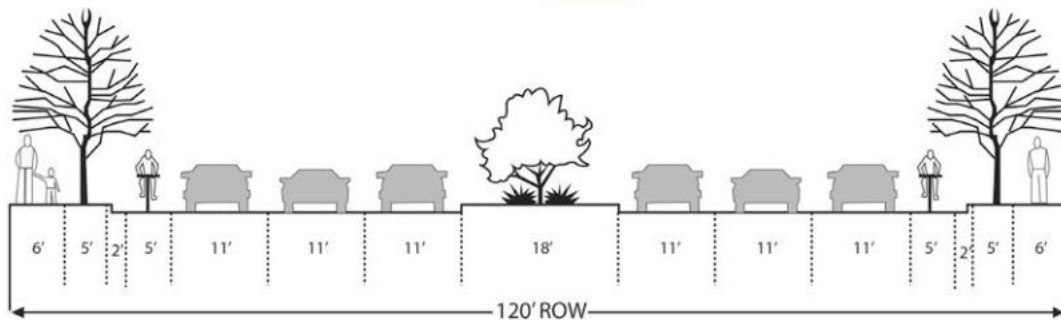
**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

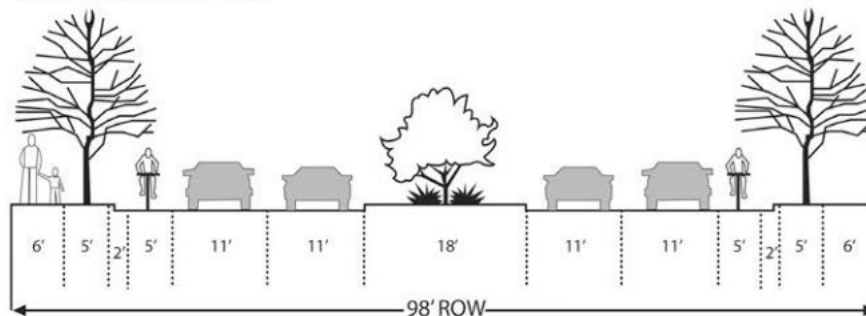
1. [list any additional items]
2. Explanation of Conditions or Corrections (if needed):
3. (see following pages for notes required)

See City Street Standards below for sidewalk and landscaping buffer requirements

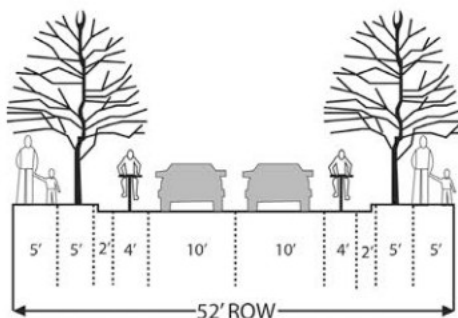
Illustration 14-9.2-1: **Street** Types Design



MAJOR ARTERIAL 6-LANE

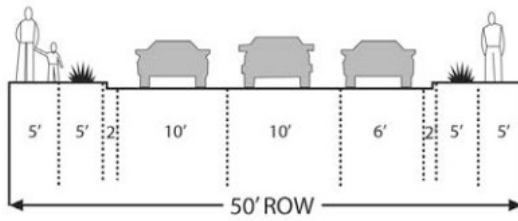


MAJOR ARTERIAL 4-LANE

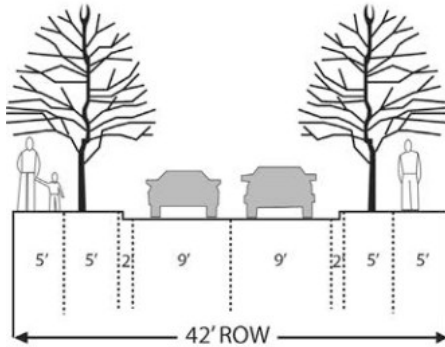


COLLECTOR

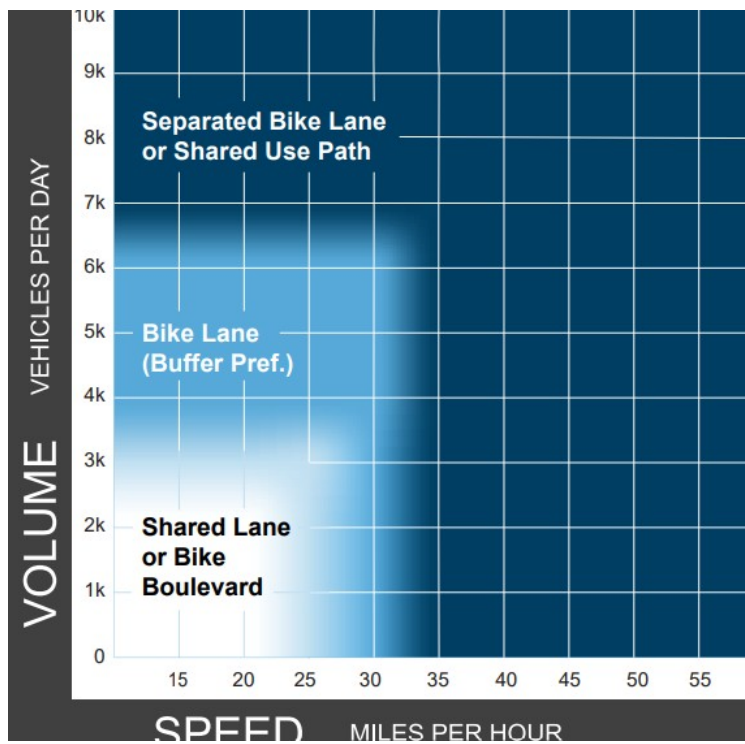
PARKING BOTH SIDES



SUB COLLECTOR WITH PARKING ON ONE SIDE



SUB COLLECTOR WITHOUT PARKING



Development Review Team (DRT) Comment Form

Date: February 20, 2026

DRT Member: Leroy Pacheco, PE and Phil Gallegos, PE (Wilson &

Company) Dept/Div: Public Works Department – Traffic Engineering

Case No.: Case #2025-11753 (Development Plan) & Case #2025-11756 (Special Use Permit) 1802 Cerrillos Road (former Empire Builders Site)

Case Planner: Alexa Hempel, LEED Green Associate, Senior Planner

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case

Conditions of Approval:	Must be completed by:	Applicant response**:
1. See attached letter from Wilson & Company dated 2/20/26 certifying its concurrence with the developer's "Initial Traffic Assessment" (ITA).	N/A	
2. Developer should provide certification that its engineers have provided NMDOT project development engineers opportunity to review site plans in accordance with the department's proposed redesign and reconstruction of Cerrillos Road.	Prior to Planning Commission	
3. A detailed signage and striping plan for all required on-street signage, pavement markings, and any related regulatory/directional signs shall be submitted for review and approval by Public Works.	Prior to Building Permit	

Technical Corrections:	Must be completed by:	Applicant response**:
1.		
2.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. City of Santa Fe Building Code, Chapter 23-3.2 states that before commencement of any new construction, it is mandatory for the owner to obtain approval from the Public Works Department for any driveway curb cut or sidewalk crossing. This approval must be issued before a building permit for such new construction is approved.
2. Note as the public infrastructure plans move forward to building permit, these may be subject to additional reviews and possible corrections to meet Public Works Standards for roadways, ADA, signing, striping, lighting, etc.

Form Updated: April 2024

prior to building permit approval.

Memorandum

To: Leroy Pacheco, PE COSF

From: Philip A. Gallegos, PE, Senior Transportation

Engineer CC:

Date: 2/20/2026

Re: DXD Storage ITA Review Comments

Wilson and Company has reviewed the ITA prepared by Souder Miller and Associates for the DXD Empire Self Storage Development located at 1802 Cerrillos Road in Santa Fe, New Mexico.

The ITE Trip Generation Handbook, 12th Edition was utilized for this ITA and the number of trips generated by this development are below the thresholds for a TIA as outlined in the City of Santa Fe TIA Guidelines. Therefore, I concur with the findings of the report.

Please let me know if you have any questions or require further information.

Sincerely,

Philip A Gallegos, PE

Senior Transportation Engineer

Wilson & Company, Inc., Engineers & Architects

discipline | intensity | collaboration | shared ownership | solutions

1

Development Review Team

Comment Form

Date: February 24, 2026

Staff person: Alan G. Hook

Dept/Div: Public Utilities/ Water Division

Case: Case #2025-11753 & #2025-11756 1802 Cerrillos Road

Case Mgr: Alexa Hempel



Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval:

Must be completed by:

1 An approved Development Water Budget including a 9.8% contingency per SFCC 14-7.7 will be required. A technical evaluation request for a Development Water Budget needs to be submitted to the City Water Division for review.	Prior to Planning Commission packet submittal.
2. An applicant may choose to develop a detailed, alternative Development Water Budget for the development project supported by <u>reliable data</u> that demonstrates that the anticipated annual water use will be less than if based on the Water Division's standard formulas per SFCC 14-7.7(D)(2).	Prior to Planning Commission packet submittal.
3 An Agreement to Construct and Dedicate (ACD) from the Water Division will be required for all new public water infrastructure or fire services. An approved Development Water Budget, including Landscape Irrigation Budget and a 9.8% Contingency is required prior to processing the ACD.	Prior to Recordation of Development Plan or Plat. Prior to Building Permit
4 Each lot shall be served by separate water service at the time of development.	Prior to construction permit approval.
5 An agreement for metered service (AMS) will be required to install new services, including water offset fees.	Prior to construction permit approval.

The applicant should be aware that the following city code provisions or other requirements will apply to future phases of development of this project:

- A. Water rights proposed to be transferred to the city's water system for dedication to a development shall be tendered to the City of Santa Fe at whichever review stage is applicable and occurs first in the review of a particular development, according to the following requirements per SFCC 25-12.4:
 - 1) Not later than sixty (60) days after the final land use approval of the final development plan by the planning and land use department, the planning commission or the governing body.
- B. A construction permit application shall not be approved until the applicant has dedicated water to meet the approved development water budget for the development project plus a 9.8 percent contingency that covers water utility delivery requirements, as documented by the Water Division designation form and complied with the conditions thereof per SFCC 14-7.7 E1.

Development Review Team (DRT) Comment Form

Date: 2/16/2026

DRT Member: Dee Beingessner, Joshua VanSlambrouck (Conditions and corrections in red text have yet to be complete) please see comments inserted

Dept/Div: Land Use Engineering

Case No.: 1802 Cerrillos Rd Development

Plan Case Planner: Alexa Hempel, Senior Planner

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Conditions of Approval:	Must be completed by:	Applicant Response**:
1. Provide discussion in the drainage narrative of how the stormwater will be directed to the ponding areas. Include how water will be directed from roof drains. Discussion not found.	Prior to Recordation	
2. Provide flow directional arrows on grading and drainage plan especially showing flow from roof drains to ponding areas. Ponding area volumes must be established for each ponding area showing dimensions. Label each pond with a pond number and the volume. Depressed areas for all landscaped areas are encouraged, but the official ponding areas for the required storage must be verifiable in the future. The conveyance of water to those areas must be shown on the plans and verifiable in the future. Show curb cuts for water to enter landscaped areas.		
3. Include pond sections and show how ponds will overflow.		

Technical Corrections:	Must be completed by:	Applicant Response**:
1. Include attached notes.		
2. A financial guarantee will be required for all public and quasi-public infrastructure. The guarantee must be in place prior to recordation of development plan.		
3. Current analysis shows a violation: an increase in peak stormwater flows is not allowed per city code 14-8.2(D)(4)(b)(i)		
4. Include 2 additional drainage analysis for the 1-year, 1-hour, and 100-year, 24-hour, required to show compliance for any frequency storm event up to the 100-year, 24-hour. Please See city code 14-8.2(D)(4)(b)(i) "except as otherwise required by this Section 14-8.2, the stormwater runoff peak flow rate discharged from a site shall not exceed pre-development conditions for any frequency storm event up to the one percent chance, twenty-four-hour storm event at each discharge point;"	Prior to recordation	
5. Show on the drainage and terrain management plans: roof drain pattern and downspouts/canales, and means of	Prior to recordation	

Form Updated: March 2024

stormwater conveyance (swales, catch basins, storm drainpipe, curb cuts, etc.) to stormwater control features		
6. Please provide more information on how runoff Coefficients were selected from the NMDOT Manual, include the figure/table number, cover type, % impervious cover, etc.		
7. Please Verify how the runoff volumes are calculated, The Rational Method is not an acceptable method to calculate runoff volume per NMDOT Drainage Design Manual, July 2018, section 403, Limitations: "Runoff volumes may not be computed with the Rational Formula Method or Modified Rational Formula Method (not included in this Drainage Design Manual".		
8. Include an acceptable runoff volume analysis for stormwater quality volume for a 0.68-inch (90% percentile, or roughly the 1-year, 1-hour storm) event. This runoff volume must be contained/retained on site, to reduce pollution per EPA NPDES MS4, see city code 14-8.2(A)(13). This volume must infiltrate in 24 hours per city code 14-8.2(D)(4)(c)(ii), It is encouraged that the Stormwater quality volume design is incorporated into the landscape, to also comply with landscape code rainwater harvesting requirements 14-8.4(E)(1) "The <u>landscaping</u> plan shall include <u>passive water harvesting</u> for <u>landscape</u> irrigation purposes as a minimum requirement" the minimum recess depth for retention and water harvesting areas is 6 inches.	Prior to recordation	
9.		

***The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.*

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

See following pages for notes required on plat or plans

DRAINAGE FACILITIES MAINTENANCE NOTE

ALL DRAINAGE FACILITIES SHALL BE MAINTAINED BY ALL PROPERTY OWNERS. THE PROPERTY OWNERS SHALL ALSO HAVE THE RESPONSIBILITY FOR MAINTENANCE OF THE PUBLIC DRAINAGE EASEMENT.

INSPECTIONS SHALL BE CONDUCTED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO OR OTHER QUALIFIED PERSON. INSPECTIONS SHALL BE CONDUCTED ON THE DRAINAGE FACILITIES IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

Form Updated: March 2024

ON OR ABOUT MARCH 15, ON OR ABOUT SEPTEMBER 15, AND AFTER EACH STORM EVENT OF 1-INCH OR GREATER. MAINTENANCE OF THE DRAINAGE FACILITIES SHALL BE CONDUCTED AND DOCUMENTED BY THE ENGINEER OR QUALIFIED PERSON AND THE OWNER. THE OWNER SHALL MAINTAIN A FILE OF THE INSPECTIONS AND REMEDIAL ACTION CONDUCTED ON THE DRAINAGE FACILITIES.

WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE ENGINEER'S RECOMMENDATIONS, AND SHALL INCLUDE, BUT IS NOT LIMITED TO THE FOLLOWING:

A. FLUSH ALL CULVERTS, DROP INLETS AND DRAINAGE PIPES TO REMOVE SEDIMENT AND VEGETATION THAT PREVENTS OR HINDERS THE FLOW OF STORM WATER IN THE DRAINAGE STRUCTURE(S).

B. REMOVE SEDIMENT IN PONDS THAT IS GREATER THAN 6-INCHES IN DEPTH, AND IF NECESSARY, RESEED WITH NATIVE GRASSES AND INSTALL FILTER FABRIC AND 3 TO 4 INCH COBBLE AS DIRECTED BY THE ENGINEER.

C. INSPECT FOR SEDIMENTATION IN ALL SWALES, DITCHES, DRAINAGE PONDS AND REMOVE AND STABILIZE AS NECESSARY.

D. INSPECT FOR SOIL EROSION AT ALL DRAINAGE PONDS, CUT AND FILL SLOPES, AND REPAIR OR STABILIZE ACCORDINGLY.

E. INSPECT THE STRUCTURAL INTEGRITY OF DRAINAGE PONDS, SLOPES, RIP-RAP, GABIONS, DROP INLETS, CULVERTS, ENERGY DISSIPATORS, AND RETAINING WALLS, ROCK PLATING, EROSION CONTROL MATS OR BLANKETS, AND REPAIR OR STABILIZE ACCORDINGLY.

GUNNISON'S PRAIRIE DOG NOTE

THE PROJECT SHALL COMPLY WITH THE PROVISIONS OF THE GUNNISON'S PRAIRIE DOG ORDINANCE (ARTICLE 14-8.12).

DUST CONTROL NOTE

All on-site soil disturbing construction activities shall be addressed and provide measures to mitigate or control dust from being transported offsite and polluting neighboring properties.

Any person, owner, contractor or operator who conducts earthmoving and/or dust generating activities is responsible for implementing Best Management Practices (BMPs) in order to mitigate off-property transport of fugitive dust emissions.

A plan, or storm water prevention plan (SWPPP) when applicable, listing the Best Management Practices (BMPs), shall be provided to the City Engineer, or their designee for review and

approval. The approved BMPs shall be applied to the graded and/or disturbed soil in order to stabilize the site.

The initial BMP shall address how the Contractor will minimize the amount of disturbed soil, and how the Contractor will stabilize the disturbed surface area exposed to wind or vehicle traffic during construction.

Some BMPs shall include:

- The reduction of vehicle speeds: establish a maximum speed limit or install traffic calming devices to reduce speeds to a rate to mitigate off-property transport of dust entrained by vehicles.
- The minimization of drop height: Drivers and operators shall unload truck beds and loader or excavator buckets slowly, and minimize drop height of materials to the lowest height possible, including screening operations.
- High winds restriction: temporarily halt work activities during high wind events greater than 30 mph if operations would result in off-property transport.
- Restrict access: restrict access to the work area to only authorized vehicles and personnel.

In the event the above practices are ineffective to prevent off property transport, the owner or operator shall use at one or more of the following Best Management Practices (BMPs):

- Wet suppression: apply water to disturbed soil surfaces, backfill materials, screenings, and other dust generating operations as necessary and appropriate considering current weather conditions, and prevent water used for dust control from entering any public right-of-way, storm water drainage facility, or watercourse.
- Wind barrier: construct a fence or other type of wind barrier to prevent wind erosion of the graded or disturbed surface.
- Vegetation: plant vegetation appropriate for retaining soils or creating a wind break.
- Surface roughening: stabilize an active construction area during periods of inactivity or when vegetation cannot be immediately established.
- Cover: install cover materials such as tackifiers, erosion control blankets, gravel, vegetation (when appropriate), cold-millings, etc. during periods of inactivity and properly anchor the cover.
- Soil retention: stabilize disturbed or exposed soil surface areas that will be inactive for more than 30 days or while vegetation is being established.

ENGINEER'S STORMWATER INFRASTRUCTURE CERTIFICATION

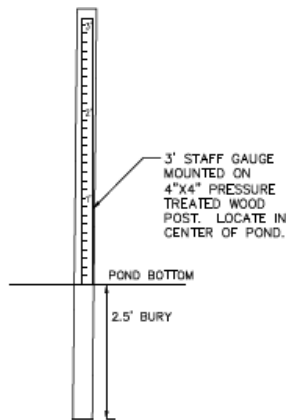
I, the undersigned professional engineer in the State of New Mexico, do hereby certify that the record information shown hereon is based on actual field measurements and visual inspections performed by myself or under my direct supervision. I further certify that the record condition as of _ is in substantial compliance with the approved grading and drainage plan prepared by _____, dated _____.

Signature

NMPE # _____

Date

Example for pond measurement post

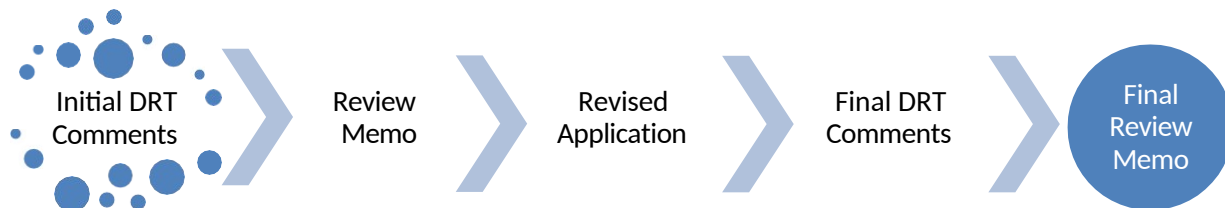


POST & STAFF GAUGE
NTS

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

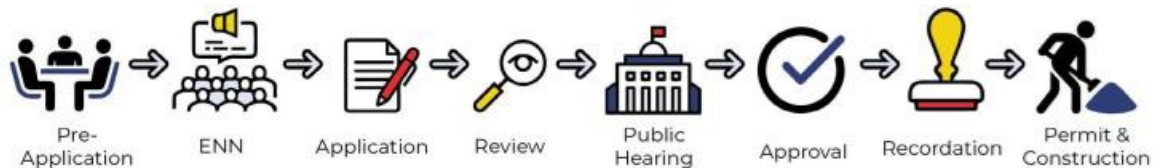


Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the 2024 Development Review Schedule for

details DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due

Date: May 1, 2026

DRT Member: Geronimo Griego, Fire Marshal

Dept/Div: Fire Prevention Division

Case No.: 2025-11753_2025-11756_1802 Cerrillos_EmpireStorage_DP_SUP (3rd

Review) Case Planner: Alexa Hempel-Senior Planner

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1. Shall comply with the most currently adopted International Fire Code (IFC) and adopted city ordinances upon building permit approval.	<i>Prior to Building Permit Approval</i>	
2. Shall maintain access to apparatus access roads in and around construction sites. Complying IFC 2021, Chapter 33 Fire Safety and During Construction and Demolition.	<i>During Construction</i>	
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

- 1.

City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law

Case #2025-11756
1802 Cerrillos Special Use Permit

Owner/Applicant: Amatren, LLC

Agents: Sommer Karnes & Associates, LLP and B Constructiv LLC

Property: 1802 and 1750 Cerrillos Road; 1361 Fourth Street; and 3rd Berry Avenue, Santa Fe, New Mexico

THIS MATTER came before the Planning Commission ("Commission") for public hearing on June 4, 2026 ("Hearing") upon the application ("Application") submitted on behalf of Amatren, LLC ("Applicant").

The Applicant requests approval of a Special Use Permit for indoor self-storage and related storage/workspace components in the C-2 zoning district and corridor context for the redevelopment of the former Empire Builders property and related parcels on Cerrillos Road. The property is zoned C-2 (General Commercial) and is within the Cerrillos Road Highway Corridor Protection District, Zone 1, and the Suburban Archaeological Review District.

After conducting a public hearing and having heard from City Planning and Land Use Staff ("Staff"), the Applicant, and interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

1. Staff reviewed the Application, related materials, Development Review Team comments, public comments, and other submitted information for conformity with applicable requirements of Chapter 14 SFCC 1987.
2. Staff provided the Commission a written Staff Report evaluating the factors relevant to the Application and recommended approval subject to conditions and technical corrections set forth in Attachment A.
3. Pursuant to former SFCC 1987 Section 14-3.1(F) (2025), which applied to the ENN process at the time, the Applicant conducted two Early Neighborhood Notification ("ENN") meetings on October

6, 2025 and October 23, 2025. The meetings included presentations by the Applicant's team and questions and comments from neighbors and interested persons. Meeting summaries are included in Attachment C-2 to the Staff Report.

4. The Planning Commission heard the matter on June 4, 2026. The Commission received the Staff Report, Staff presentation, testimony and evidence from the Applicant, written public comments, public testimony if any, and other materials in the record prior to making its decision.
5. The public record included comments and concerns related to public access to case materials, Special Use Permit findings, the Cerrillos Road Highway Corridor Protection District, the Suburban Archaeological Review District, fire-station proximity and emergency access, NMDOT / Cerrillos frontage coordination, mural / public art treatment, and corridor character.
6. The public record also included written support for redevelopment of the former Empire Builders site.
7. The Commission approved the Application with conditions, subject to Attachment A: Conditions of Approval and Technical Corrections, as modified by the Commission.
8. The Special Use Permit request concerns indoor self-storage and related storage/workspace components in the C-2 corridor context, including creative office/workshop-style storage suites and associated community-facing components.
9. The Commission considered whether the use is appropriate at this location based on the required authority, public-interest, compatibility, and adaptability findings.
10. The record supports a finding that, subject to conditions, the Special Use Permit will not adversely affect the public interest.
11. The record supports a finding that the use and associated buildings are compatible with and adaptable to buildings, structures, and uses of abutting properties and other properties in the vicinity.
12. The mural / public art condition contained in Attachment A and addressed primarily through the Development Plan is part of the condition package supporting corridor-character, compatibility, and public-interest considerations.
13. At the August 6, 2026, Planning Commission hearing, the Commission provided further explanation for the condition that the artist or artists hired to complete the murals be residents of Santa Fe. The Commission seeks to provide opportunities for local artists as a necessary means to promote the local cultural heritage, engage the community, and contribute to vibrant neighborhoods in a manner that aligns with other city-directed initiatives aimed at fostering local artists.

CONCLUSIONS OF LAW

1. The Commission has jurisdiction and authority to review and act on the Application.
2. Pursuant to SFCC 1987 Section 14-2.1, the applicable procedural requirements, including notice and public hearing, have been satisfied based on the record before the Commission. The ENN process was conducted pursuant to former SFCC 1987 Section 14-3.1(F) (2025), which applied to the ENN process at the time.
3. The Staff Report, Attachment A, Development Review Team comments, public comments/support materials, Applicant materials, and hearing testimony constitute substantial evidence in the record supporting the Commission's decision.
4. The Commission concludes that it has authority to approve the Special Use Permit.
5. The Commission concludes that the Special Use Permit, subject to conditions, will not adversely affect the public interest.
6. The Commission concludes that the use and associated buildings are compatible with and adaptable to the surrounding C-2 corridor context and vicinity.
7. The Commission concludes that the condition the Applicant hire an artist or artists from Santa Fe to complete the murals at the property is carefully tailored to promote the local arts community and culture without unreasonably harming nonresidents.
8. The Special Use Permit is approved subject to Attachment A, as modified by Planning Commission action. Condition 44 is incorporated by reference from the Development Plan FOFCOL as applicable to the Special Use Permit.

ORDER

WHEREFORE, IT IS ORDERED by the Planning Commission of the City of Santa Fe that Case #2025-11756, 1802 Cerrillos Special Use Permit, is approved subject to Attachment A, as modified by Planning Commission action, with Condition 44 incorporated by reference from the Development Plan FOFCOL as applicable to the Special Use Permit.

Signature Blocks

Planning Commission Chair Date

FILED: City Clerk Date

APPROVED AS TO FORM: City Attorney / Assistant City Attorney Date

**City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law**

Case # 2025-11164

1372 Boylan Ln, 2743 Boylan Cr, 2745 Boylan Cr.,

Owner's/Applicant's Name – Larry Boylan

Agent's Name – Dalton Land Insights, LLC

THIS MATTER came before the Planning Commission ("Commission") for public hearing on June 18, 2026 ("Hearing") upon the application ("Application") of Larry Boylan ("Applicant"), represented by Daltons Land Insights, LLC ("Agent").

The Applicant requests a General Plan Amendment to the Future Land Use Map ("FLUM") to change approximately 5.96 acres of land at 1372 Boylan Ln, 2743 Boylan Cr, 2745 Boylan Cr., ("Property") from Transitional Mixed Use to General Commercial ("Amendment").

After conducting a public hearing and having heard from staff and all interested persons, the Planning Commission ("Commission") hereby FINDS, as follows:

FINDINGS OF FACT

1. SFCC 1987 § 14-2.1(C)(5) sets out approval criteria and requires the Commission to make complete findings of fact sufficient to show that these criteria have been met before recommending the Governing Body deny the General Plan Amendment.
2. In this case, the Applicant sought a General Plan Amendment.
3. SFCC 2026 § 14-2.1(C)(2) sets out applicability standards for Amendments to the General Plan that is required to ensure the official zoning map provided in Section 14-3.1(D) (Zoning Districts) is in conformance with the General Plan. Case # 2024-9461 is the associated rezoning application. The Applicant proposes to rezone on approximately 5.96 acres of 4 contiguous parcels located at 1372 Boylan Lane, 2743 Boylan Circle, and 2745 Boylan Circle., from R-1 ("1 Dwelling Units per acre") to C-2 ("General Commercial").
4. The Applicant held a pre-application conference on June 13, 2024, in association with adjoining case #2024-9461.
5. The Applicant conducted an ENN meeting on September 26, 2024, virtually via Zoom. The Agent, Applicant, and City Staff attended the ENN meeting. The Applicant team presented

an overview of the proposed development. An unidentified participant that was having technical difficulties later called via phone to inquire about process and other unrelated questions regarding his prior approved rezoning located at 2749 B Agua Fria St.

6. At the Planning Commission hearing, the Commission received reports from the City Staff to recommend denial, as well as testimony and evidence from the Applicant's Agent prior to making a decision.
7. The Commission opened the hearing to public comment; no members of the public testified in opposition or support of the project in regard to amending the General Plan.
8. Once the Vice Chair closed the Public Hearing, the Commission discussed the matter and Commissioner Mirando motioned to recommend the Governing Body deny case# 2025-11164 and was seconded by Commissioner Barber. The Commission then voted unanimously to recommend denial of the Amendment to the Governing Body.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Commission CONCLUDES as follows:

1. Pursuant to SFCC 1987 § 14-2.1(C)(5)(I)(a-g), the Commission finds:
 - a) The Amendment is not consistent with West Santa Fe River Corridor Plan goals and policies as set forth in a comprehensive plan for the Southwest Santa Fe Area Plan and its recommendation to rezone the Property to Mixed-Use and;
 - b) The Amendment is not consistent with other parts of the general plan; and
 - c) The Amendment does: benefit one or a few landowners at the expense of the surrounding landowners or the general public; and
 - d) The Amendment does not promote the general welfare or have other adequate public advantage or justification; and
 - e) The Amendment does not contribute to a coordinated, adjusted and harmonious development of Santa Fe that is in accordance with existing and future needs, best promotes health, safety, morals, order, convenience, prosperity or the general welfare, as well as efficiency and economy in the process of development; and
 - f) The Amendment does not consider conformity with other city policies, including land use policies, ordinances, regulations and plans.

2. Pursuant to SFCC 1987 § 14-2.1(B)(3)(V), all procedural requirements regarding the notice of public hearing have been met.
3. The Commission has the power and authority to review and recommend the Governing Body denial of Case # 2025-11164 at 1372 Boylan Ln, 2743 Boylan Cr, 2745 Boylan Cr., General Plan Amendment.
4. The Applicant met the applicable Submittal Requirements.
5. Pursuant to SFCC 1987 § 14-2.1(C)(4)(V)(b),(D)(2), i, the Commission recommends the Governing Body deny the requested General Plan Amendment because it determined the application did not meet all applicable code criteria for approval of a proposed General Plan Amendment.

WHEREFORE, IT IS ORDERED ON THE 3RD DAY OF SEPTEMBER, 2026, BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

Considering the foregoing findings and conclusions, the Commission recommends the Governing Body deny the General Plan Amendment as requested in the application for Case # 2025-11164.

Janet Clow
Chairperson

Date:

FILED:

Geraldyn F. Cardenas
City Clerk

Date:

APPROVED AS TO FORM:

Natalie Cauley
Assistant City Attorney

Date:

**City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law**

Case # 2024-9461

1372 Boylan Ln, 2743 Boylan Cr, 2745 Boylan Cr.,

Owner's/Applicant's Name – Larry Boylan

Agent's Name – Dalton Land Insights, LLC

THIS MATTER came before the Planning Commission ("Commission") for public hearing on June 18, 2026 ("Hearing") upon the application of Larry Boylan ("Applicant") by Dalton Land Insights, LLC ("Agent").

The Agent and Applicant requests approval for a rezoning of a 5.96-acre lot located at 1372 Boylan Lane, 2743 Boylan Circle, and 2745 Boylan Circle from R-1 (1 dwelling unit per acre) to C-2 (General Commercial).

City Planning and Land Use Department staff ("Staff") recommends the Planning Commission recommend the Governing Body approve Case #2024 – 9461, Rezoning to a less intensive zoning designation of MU (Mixed-Use) subject to Santa Fe City Code ("SFCC") 2026 §14-2.1(3)(VI)(e)(3)(ii.).

After conducting a public hearing and having heard from staff and all interested persons, the Planning Commission hereby FINDS, as follows:

FINDINGS OF FACT

1. SFCC 1987 §14-2.1(D)(3)(VII) sets out approval criteria and requires the Commission to make complete findings of fact sufficient to show that these criteria have been met before recommending the Governing Body approve the Rezoning as recommended by Staff.
2. In this case, the Applicant sought a rezoning from R-1 to C-2.
3. Staff recommended a rezoning to a less intensive zone, MU, pursuant to SFCC 1987 §14-2.1(D)(3)(VI)(e)(3)(ii).
4. SFCC 1987 §14-2.1(D)(3)(VI) sets out procedures for rezoning and requires the Commission to hold a public hearing, review the application, and make a recommendation to the Governing Body.

5. The property, totaling +/-5.96 acres, consisting of four contiguous parcels: 910004222 (+/-1.81 acres), 99304501 (+/- 0.4379 acres), 58602155 (+/- 1.0758) and 990008243 (+/- 2.69 acres), located at 1372 Boylan Lane, 2743 Boylan Circle, and 2745 Boylan Circle.
6. SFCC 1987 Section 14-2.1 sets out certain procedures to be followed on the application, including, without limitation, (a) a pre-application conference [SFCC 1987 § 14-2.1(B)(1)(I)]; (b) an Early Neighborhood Notification (“ENN”) meeting [SFCC 1987 § 14-2.1(B)(II)]; and (c) compliance with notice and public hearing requirements [SFCC 1987 §14-2.1(B)(3)(V)-(B)(4)].
7. The Applicant affected notice by: mailing out notice via first-class mail to property owners within 300 feet of the subject property on May 20, 2026; mailing out notice via certified mail to those within 100 feet; e-mailing neighborhood associations within 300 feet; and posting the required City sign on the property from May 20, 2026, through the Hearing date.
8. The Applicant attended a pre-application conference on June 13, 2024.
9. The Applicant conducted an ENN meeting on September 26, 2024, virtually via Zoom. The Agent, Applicant, and Staff attended the ENN meeting. An unidentified participant that was having technical difficulties later called via phone to inquire about process and other unrelated questions regarding his prior approved rezoning located at 2749 B Agua Fria St.
10. At the Hearing, the Planning Commission received reports from Staff, as well as testimony and evidence from the Applicant’s Agent prior to making a decision. The Commission opened the hearing to public comment, and no members of the public provided testimony, either in-person or by Zoom.
11. Once Commission Vice Chair Smith closed the Public Hearing, Commissioner Mirando moved to recommend the Governing Body approve the rezoning and was seconded by Commissioner McGhee. After discussion, the Planning Commission voted unanimously in favor of the motion to recommend the Governing Body approve the rezoning to MU, subject to Santa Fe City Code 1987 §14-2.1(D)(3)(VI)(e)(3)(ii.).

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Commission CONCLUDES as follows:

1. Pursuant to SFCC 1987 § 14-2.1(B)(3)(V), the Applicant properly gave notice of the ENN meeting.
2. The Applicant properly conducted the ENN meeting pursuant to SFCC 1987 § 14-2.1(B)(1)(II).
3. The Applicant has the right under the SFCC to propose the rezoning of the property. Pursuant to SFCC 1987 Section 14-2.1(D)(3), any person may submit a written request for rezoning, along with all submissions required by SFCC 1987 Chapter 14 and any other information requested by the land use director as reasonably necessary to determine compliance with Chapter 14.
4. Pursuant to SFCC 1987 Table 14-2-1: Summary Table of Review Procedures and SFCC 1987 Section 14-2.1(D)(3)(VI)(e)(2), the Commission has the authority to review and recommend the Governing Body approve or deny the rezoning request.
5. SFCC 1987 § 14-2.1(D)(3)(VI) sets out procedures for rezoning and requires the Commission to hold a public hearing, review the application, make a recommendation to the Governing Body, and transmit the application, including any plans, to the Governing Body, together with a recommendation as to findings and conclusions, desirable changes and recommendations for approval or denial.
6. Pursuant to SFCC 1987 § 14-2.1(D)(3)(VI)(e)(3)(ii.) the Commission recommends the Governing Body approve a less intensive rezoning than originally requested by the Applicant, from C-2 to MU.
7. Pursuant to SFCC 1987 § 14-2.1(D)(3)(VII), the Commission finds that a different use category is more advantageous to the community. This is because the rezoning would increase density in the central area of the City and would therefore directly align with the intent of the General Plan, which has identified the Future Land Use of the parcel as “Transitional Mixed Use” and within the designated “Infill Area.”
8. Pursuant to SFCC 1987 § 14-2.1(D)(3)(VII), the Commission finds that the application is complete and the rezoning from R-1 to MU meets all rezoning approval criteria, including alignment with General Plan theme and policies.

9. Pursuant to SFCC 1987 § 14-2.1(D)(3)(VII), the Commission finds the rezoning provides sufficient information to address SFCC 1987 § 14-2.1(D)(3)(VII)(b). The rezoning to MU is consistent with the General Plan Future Land Use Map of TXMU (Transitional Mixed Use). Additionally, the increased density would be compatible with surrounding development patterns and the West Santa Fe River Corridor Plan.
10. Pursuant to SFCC 1987 § 14-2.1(D)(3)(VII)(a)(5), the Commission finds that the existing and proposed infrastructure, such as the streets system, sewer and water lines, and public facilities, such as fire stations and parks, will be able to accommodate the impacts of the proposed development. Pursuant to SFCC 1987 § 14-2.1(D)(3)(VII)(b), the Commission finds:
 - a. The prevailing use and character of the area is primarily medium to high-density residential multifamily developments, with mixed-use and commercial uses along Alameda Road, with some single-family residential. The rezoning from R-1 residential to MU will be consistent with the prevailing character pattern in the area.
 - b. The property is greater than two acres in size.
 - c. The increase in density enhances compliance with the City's adopted General Plan, which serves the interest of the general public. The neighborhood contains high-density, multi-family developments at a frequency and density greater than single-family homes in the transition area. This was intended by the General Plan to take place at this location since 2017 when the Governing Body adopted the West Santa Fe River Corridor Plan and overlay district (City Resolution 2017-87)
11. Pursuant to SFCC 1987 § 14-2.1(B), all common review procedural requirements regarding the pre-application conference, ENN meeting, and notice of public hearing have been met.
12. The Commission has the power and authority to review, approve or deny Case # 2024-9461 regarding + /- 5.96 acres, consisting of four contiguous parcels: 910004222 (+/- 1.81 acres), 99304501 (+/- 0.4379 acres), 58602155 (+/- 1.0758) and 990008243 (+/- 2.69 acres), located at 1372 Boylan Lane, 2743 Boylan Circle, and 2745 Boylan Circle.
13. The Applicant met the applicable submittal requirements.
14. The Commission recommends the Governing Body approve the rezoning to MU recommended by Staff because the Application met all applicable Code criteria.

**WHEREFORE, IT IS ORDERED ON THE 3RD DAY OF SEPTEMBER , 2026,
BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:**

Considering the foregoing findings and conclusions, the Commission recommends the Governing Body approve the rezoning from R-1 to MU as recommended by Staff for Case # 2024-9461.

Janet Clow
Chairperson

Date:

FILED:

Geraldyn F. Cardenas
City Clerk

Date:

APPROVED AS TO FORM:

Natalie Cauley
Assistant City Attorney

Date:

City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law
Case #2024-7999
2981 Galisteo Road Development Plan

Owner / Applicant: Anchorum / St. Vincent

Agent: JenkinsGavin / Jennifer Jenkins

Property: 2981 Galisteo Road, Santa Fe, New Mexico

THIS MATTER came before the Planning Commission ("Commission") for public hearing on August 6, 2026 ("Hearing") upon the application ("Application") submitted on behalf of Anchorum St. Vincent ("Applicant").

The Applicant requests Development Plan approval to construct a 65,937-square-foot, 80-bed skilled nursing facility at 2981 Galisteo Road. The property consists of approximately 6.325 acres, is zoned BIP - Business Industrial Park, and is located within the Suburban and River & Trails Archaeological Review Districts.

After conducting a public hearing and having heard from City Planning and Land Use Staff ("Staff"), the Applicant, members of the public, and interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

1. Staff reviewed the Application, related materials, Development Review Team comments, public-process materials, technical reports, notice and posting materials, final Water Plan materials, final Development Water Budget materials, and other submitted information for conformity with applicable requirements of Chapter 14 of the Santa Fe City Code and other applicable City requirements.
2. Staff provided the Planning Commission a written Staff Report evaluating the factors relevant to the Application and recommended approval subject to the Conditions of Approval and Technical Corrections set forth in Attachment A to the Staff Report.
3. The Staff Report and record identify the request as Development Plan approval for a 65,937-square-foot, two-story, 80-bed skilled nursing facility on approximately 6.325 acres at 2981 Galisteo Road.
4. The property is zoned BIP - Business Industrial Park and is within the Suburban and River & Trails Archaeological Review Districts.
5. The required Early Neighborhood Notification meeting for the Application was held on February 27, 2024. The public-process record includes questions and comments related to

traffic on Galisteo Road, the Galisteo Road horizontal curve, congestion at Rodeo Road / Galisteo Road, pedestrian crossing safety, parking and trip generation, Galisteo Road pavement condition, lighting, loading, facility operations, landscaping, and the proposed multi-use trail.

6. A courtesy follow-up / supplemental outreach meeting was held on May 28, 2026. No members of the public or interested persons attended that meeting, the meeting concluded early, and no public comments were received at that meeting.

7. The Staff Report Package includes notice, posting, mailing, and public-process materials in Attachment C-2. Updated notice proof and posting photographs were incorporated into Attachment C-2 before final Staff Report Package transmittal.

8. The Application underwent Development Review Team review. The record includes Staff review, Development Review Team comments, Applicant responses, technical reports, and conditions and technical corrections addressing remaining review items.

9. The Development Plan provides access from Galisteo Road aligned with Avenida La Cerca and includes internal access drives, parking areas, fire access, utility infrastructure, grading, drainage, landscaping, lighting, pedestrian improvements, and trail-related improvements.

10. The current Development Plan record identifies 40 required parking spaces and 80 provided parking spaces. The Applicant provided a parking count justification explaining that the proposed parking supply is based on the facility operating program, employee count, shift demand, visitor demand, and care-facility operations.

11. The revised Traffic Impact Analysis supports the proposed access location, driveway spacing, sight distance, and traffic analysis. The record identifies an existing failing southbound-left movement at Rodeo Road / Galisteo Road, but the revised Traffic Impact Analysis states that the existing failure is not created or materially impacted by the proposed skilled nursing facility.

12. Water Division and the Santa Fe Fire Department signed the final Water Plan for the project. The signed Water Plan includes public water infrastructure, domestic service, irrigation service, fire service, fire hydrant infrastructure, backflow prevention, utility crossing details, and private-hydrant maintenance requirements.

13. Water Resources approved the project's Alternative Final Development Water Budget. The Staff Report Package includes the Water Resources approval memorandum, supporting usage data, Utility Service Application / Water Budget Evaluation materials, and related Water Plan / Development Water Budget materials in Attachment D.

14. The revised Terrain Management Report supports the terrain and drainage analysis. The record identifies stormwater attenuation, grading, drainage, erosion-control, sediment-control, dust-control, and site-stabilization requirements addressed through the Staff Report and Attachment A.

15. The record supports findings that the Development Plan is in the public interest, is compatible and adaptable with the surrounding assisted living / institutional care, medical, commercial, transportation, and residential context, and complies or can comply with applicable Chapter 14 Development Plan requirements subject to Attachment A.
16. The Staff Report and Attachment A address Water Plan compliance, Development Water Budget compliance, Fire / emergency access, private hydrant responsibilities, terrain and drainage, wastewater, landscaping, lighting, parking, accessibility, traffic, access, trail coordination, archaeology, review district requirements, and related final plan / permit / construction / ongoing compliance items.
17. The Planning Commission heard the matter on August 6, 2026. The Commission received the Staff Report, Staff presentation, Applicant presentation, public testimony, Attachment A, the Technical Corrections, the Development Review Team record, the final Water Plan / Development Water Budget materials, public-process materials, and other materials in the record prior to making its decision.
18. Members of the public spoke at the Hearing. Public testimony included concerns regarding existing roadway conditions, traffic and access in the Galisteo Road / Rodeo Road area, and the loss of existing open space on the subject property. The Commission did not adopt any amendment to the Staff Report or Attachment A based on those comments.
19. The Commission discussed the existing failing Galisteo Road / Rodeo Road intersection movement identified in the traffic record and considered neighborhood concerns regarding existing roadway condition and potential future disrepair. The record supports approval because the revised Traffic Impact Analysis identifies the existing failing movement as not created or materially impacted by the proposed skilled nursing facility, and remaining traffic, access, circulation, pedestrian, trail, and public-infrastructure items are addressed through the Staff Report, technical review, and Attachment A conditions.
20. The Commission asked Staff to carry forward the themes raised by neighborhood commenters regarding existing road conditions, neighborhood awareness, future budgeting / planning work, and the community concern about losing the existing undeveloped open space. The Commission did not add a condition or amend Attachment A based on that request.
21. The Commission adopted the Staff Report, Attachment A: Conditions of Approval and Technical Corrections, and the Staff Report findings without amendment. Attachment A was not modified by Planning Commission action.
22. The Commission voted 6-0 to approve the Development Plan, with Commissioner Mirando making the motion and Commissioner McGhee seconding. Commissioners Clow, McGhee, Mirando, Rieland, Kapin, and Barber voted aye. Commissioner McReynolds recused.

23. The conditions and technical corrections set forth in Attachment A are necessary to accomplish proper development of the area, ensure compliance with applicable City requirements, and address remaining technical review items at the appropriate final plan, recordation, permit, construction, certificate of occupancy, or ongoing compliance stage.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the Hearing, the Commission CONCLUDES as follows:

1. The Commission has jurisdiction and authority to review the Application and approve the Development Plan under SFCC 1987 14-2.1(F)(4)(II)(b)(6).
2. The applicable procedural requirements, including Early Neighborhood Notification, notice, posting, public hearing, and Planning Commission review, have been satisfied based on the record before the Commission.
3. The Staff Report, Attachment A, Development Review Team comments and responses, public-process materials, Applicant materials, final Water Plan, final Development Water Budget approval materials, technical reports, hearing testimony, and other materials in the record constitute substantial evidence supporting the Commission's approval.
4. The Commission concludes that it has authority to approve the Development Plan.
5. The Commission concludes, pursuant to the required approval criteria in SFCC 1987 14-2.1(F)(4)(V)(b), that the Development Plan will not adversely affect the public interest, is compatible and adaptable with abutting and nearby buildings, structures, and uses, and satisfies or can satisfy applicable Chapter 14 Development Plan review requirements, subject to Attachment A conditions and technical corrections.
6. The Commission concludes that the Development Plan is supported by the signed Water Plan, approved Alternative Final Development Water Budget, Development Review Team review, revised Traffic Impact Analysis, revised Terrain Management Report, public-process record, and recommended conditions and technical corrections.
7. The Commission concludes that the existing failing movement at Rodeo Road / Galisteo Road does not preclude Development Plan approval because the revised Traffic Impact Analysis states that the existing failing movement is not created or materially impacted by the proposed skilled nursing facility, and the record includes conditions and technical corrections addressing traffic, access, circulation, pedestrian, trail, and related public-infrastructure requirements.
8. The Commission concludes that public testimony and neighborhood concerns regarding roadway conditions and existing open space were considered as part of the record, and that approval with Attachment A conditions remains appropriate based on the Staff Report, technical record, and hearing testimony.

9. The Commission approves the Development Plan subject to Attachment A: Conditions of Approval and Technical Corrections, as included in the final Staff Report Package and adopted without amendment by the Commission.

ORDER

WHEREFORE, IT IS ORDERED by the Planning Commission of the City of Santa Fe that Case #2024-7999, 2981 Galisteo Road Development Plan, is approved subject to the Conditions of Approval and Technical Corrections set forth in Attachment A, as included in the final Staff Report Package and adopted without amendment by the Planning Commission.

The Applicant shall comply with Attachment A: Conditions of Approval and Technical Corrections and all applicable City requirements before the applicable Development Plan recordation, building permit, construction, inspection, certificate of occupancy, water-service connection, or ongoing operational stage identified in Attachment A.

The Development Plan approval shall expire three years after final action in accordance with SFCC 1987 14-2.1(F)(4)(IV)(h)(3) unless actual development of the site or off-site improvements has begun and is continued, or a time extension is granted pursuant to applicable City procedures.

Signature Blocks

Planning Commission Chair

Date

FILED: City Clerk

Date

APPROVED AS TO FORM: City Attorney / Assistant City Attorney

Date

City of Santa Fe, New Mexico

Attachment A Conditions of Approval and Technical Corrections

- 1. Table of Conditions of Approval**
- 2. Table of Technical Corrections**
- 3. Development Review Team Compiled Comments**

Conditions of Approval & Technical Corrections

Conditions of Approval			
#	Condition of Approval	Dept. or Division	To be completed:
1	Water Plan / Water Division: The applicant shall comply with the final signed Water Plan and all Water Division and Fire Department requirements for public water infrastructure, domestic service, irrigation service, fire service, hydrants, backflow prevention, water easements, utility crossings, inspections, and related improvements.	Water Division / Fire	Prior to final Development Plan approval
2	Agreement to Construct and Dedicate: The applicant shall obtain any required Agreement to Construct and Dedicate for new public water infrastructure and fire services, consistent with Water Division requirements.	Water Division	Prior to building permit
3	Water Main Cover / Utility Protection: Any grading or construction near existing or proposed water mains shall maintain required Water Division cover and clearance standards. If field conditions require adjustment, the applicant shall revise utility design to Water Division satisfaction.	Water Division / Engineering	During construction
4	Development Water Budget: The applicant shall comply with the approved Alternative Development Water Budget and all Water Resources requirements, including monitoring, disclosure, surcharge, water-rights, water-credit, allocation, offset, and ongoing compliance requirements required by City Code or Water Resources.	Water Resources	Ongoing
5	Private Hydrant Responsibilities: The property owner shall maintain any private hydrant and private fire-system improvements in accordance with City policy, including inspection, maintenance, flow testing, recordkeeping, and qualified-contractor requirements.	Water Division / Fire	Ongoing
6	Fire / Emergency Access: The applicant shall satisfy Fire Department requirements for fire apparatus access, access-road width and grade, fire turnarounds, hydrants, fire flow, fire department connection, sprinkler-related site requirements, fire-service infrastructure, and IFC compliance.	Fire Department	Prior to building permit
7	Terrain / Drainage / Stormwater: The applicant shall comply with approved terrain, grading, drainage, stormwater, erosion-control, sediment-control, dust-control, pond-design, and site-stabilization requirements. Stormwater facilities shall be constructed and maintained consistent with approved plans.	Engineering / Terrain	Prior to building permit
8	Drainage Facility Maintenance: The property owner shall maintain all private drainage facilities, stormwater facilities, pond areas, swales, inlets, pipes, and related drainage improvements in functional condition.	Engineering / Terrain	Ongoing
9	Wastewater: The applicant shall satisfy Wastewater Management Division requirements for sanitary sewer service, industrial sampling port, private sewer labeling, pipe material, manhole connection, utility crossing clearances, inspections, and service connections.	Wastewater Management	Prior to recordation
10	Archaeology / Review Districts: The applicant shall obtain and comply with all required archaeological and review-district approvals applicable to the Suburban and River & Trails Archaeological Review Districts.	Archaeology / Planning	Prior to ground disturbance
11	Public Works / MPO / Trail: The applicant shall coordinate final trail alignment, trail connectivity, driveway crossing treatment, Galisteo Road pedestrian crossing treatment, and related public-infrastructure improvements with Public Works, MPO, Parks, and applicable City reviewers.	Public Works / MPO	Prior to building permit

Conditions of Approval			
#	Condition of Approval	Dept. or Division	To be completed:
12	NMDOT Trail Coordination: The applicant shall continue coordination for any easement, access right, or other mechanism necessary for the trail connection through NMDOT property south of the site, as required by the City.	Public Works / MPO	Prior to recordation
13	Parks / Trail Design Review: Trail design and construction materials shall be submitted for review at applicable design stages and shall comply with City standards and codes.	Parks / Public Works	Prior to construction
14	Landscape / Irrigation / Lighting: The applicant shall finalize landscape, irrigation, water-harvesting, screening, tree-protection, disturbed-area restoration, and lighting plans to address applicable City comments and standards.	Planning / Landscape	Prior to recordation
15	Exterior Lighting Compliance: The applicant shall revise exterior lighting as necessary to demonstrate compliance with City lighting standards, including property-line light trespass limits.	Planning / Lighting	Prior to permit issuance
16	Parking / ADA / Accessibility: The applicant shall provide required accessible parking, accessible routes, passenger loading, curb ramps, surface materials, EV charging, and related site-accessibility improvements in accordance with applicable standards.	Planning / Building	Prior to building permit
17	Traffic / Access / Circulation: The applicant shall comply with final traffic, access, circulation, driveway, pedestrian, trail, and public-infrastructure requirements required by Public Works, Complete Streets, MPO, and applicable City standards.	Traffic / Public Works	Prior to building permit
18	Final Plan Corrections: The applicant shall submit final revised plans incorporating all conditions of approval and technical corrections required by the City. Final plans shall be internally consistent with the approved Development Plan, signed Water Plan, approved DWB, Staff Report, and Attachment A.	Planning / DRT	Prior to final Development Plan approval
19	Compliance with Approved Development Plan: The property shall be developed, used, operated, and maintained in substantial compliance with the approved Development Plan, final conditions of approval, technical corrections, and subsequent permits.	Planning	Ongoing

Technical Corrections

Technical Corrections			
#	Technical Correction	Dept. or Division	To be completed:
1	Signed Water Plan: Maintain the final signed Water Plan in the final packet and incorporate signed Water Plan requirements into final plan sheets.	Water Division / Fire	Prior to final Development Plan approval
2	Domestic Meter / Service Table: Maintain the final 2-inch domestic meter/service configuration and associated service-table information approved by Water Division.	Water Division	Prior to final Development Plan approval
3	Irrigation Meters: Maintain final 5/8-inch irrigation meter information and irrigation-service labels on utility sheets.	Water Division / Landscape	Prior to final Development Plan approval
4	Backflow Prevention: Maintain the approved backflow-prevention assembly and clear public/private water infrastructure layout.	Water Division	Prior to final Development Plan approval

Technical Corrections			
#	Technical Correction	Dept. or Division	To be completed:
5	Private Hydrant Notes: Maintain private-hydrant owner-maintenance, inspection, flow-testing, and recordkeeping notes on applicable plan sheets.	Water Division / Fire	Prior to building permit
6	ACD Requirement: Confirm and provide any required Agreement to Construct and Dedicate documentation for public water infrastructure.	Water Division	Prior to building permit
7	Approved DWB Materials: Include the Alternative Development Water Budget approval memo and supporting materials in the final packet.	Water Resources	Prior to packet distribution
8	Alternative DWB Disclosure: Add Alternative Development Water Budget disclosure language or development-plan notes if required by Water Resources.	Water Resources / Planning	Prior to recordation
9	Water Allocation / Offset: Carry water allocation, water offset, water-rights, water-credit, and surcharge provisions as required by Water Resources and City Code.	Water Resources	Ongoing
10	Wastewater Sampling Port: Add or maintain the industrial sampling port required by Wastewater Management Division.	Wastewater Management	Prior to recordation
11	Sewer Pipe Material: Maintain SCH 40 PVC sewer extension and related sewer-service requirements.	Wastewater Management	Prior to recordation
12	Manhole Connection: Show core-drilled manhole connection and required inspection requirements.	Wastewater Management	Prior to recordation
13	Private Sewer Labeling: Clearly label private sanitary sewer infrastructure on final plan sheets.	Wastewater Management	Prior to recordation
14	Utility Crossing Details: Maintain water, sewer, and storm-sewer crossing clearance details on applicable sheets.	Wastewater / Water	Prior to recordation
15	Terrain Management Report: Maintain the revised Terrain Management Report as the controlling terrain/drainage technical report.	Engineering / Terrain	Prior to building permit
16	Stormwater Pond: Maintain stormwater pond volume, location, profiles, and maintenance requirements consistent with the approved drainage design.	Engineering / Terrain	Prior to building permit
17	Erosion / Dust Control: Maintain erosion-control, sediment-control, dust-control, and site-stabilization measures.	Engineering / Terrain	During construction
18	Traffic Impact Analysis: Maintain the revised Traffic Impact Analysis as the controlling traffic/access technical report.	Traffic / Public Works	Prior to building permit
19	Access Alignment: Maintain access alignment with Avenida La Cerca and coordinate final driveway design with Public Works / Complete Streets.	Public Works / Traffic	Prior to building permit
20	Trail Connection: Maintain the commitment to a 10-foot multi-use trail connection through the property north to Rodeo Road, subject to final City review.	Public Works / MPO	Prior to construction
21	Trail Design Review: Submit trail design materials for Parks / Public Works review at applicable design stages.	Parks / Public Works	Prior to construction
22	NMDOT Coordination: Document any required NMDOT coordination for trail connection or access rights south of the site.	Public Works / MPO	Prior to recordation
23	Significant Trees: Maintain significant tree information and tree-protection requirements on landscape plans.	Planning / Landscape	Prior to recordation
24	Planting Corrections: Address plant substitutions, street trees, frontage treatment, water harvesting, parking lot screening, and disturbed-area revegetation.	Planning / Landscape	Prior to recordation

Technical Corrections			
#	Technical Correction	Dept. or Division	To be completed:
25	Irrigation Design: Finalize irrigation design, irrigation water-use zones, dedicated irrigation meter, and irrigation conflicts with City water mains.	Planning / Landscape	Prior to recordation
26	Lighting Plan: Revise lighting plans and photometric information to demonstrate compliance at applicable property lines.	Planning / Lighting	Prior to permit issuance
27	ADA / Accessibility: Confirm accessible parking count, accessible routes from public right-of-way, passenger loading, slopes, and site accessibility details.	Planning / Building	Prior to building permit
28	Surface / EV Notes: Add or maintain surface material legend and EV charging information on final civil/site plans.	Planning / Building	Prior to building permit
29	Archaeology Notes: Add or maintain archaeology/review-district notes and approval references as required by City review.	Archaeology / Planning	Prior to ground disturbance
30	Project Facts: Use 65,937 square feet, 80 beds, approximately 6.325 acres, Anchorum St. Vincent, and BIP zoning consistently across final materials.	Planning	Prior to final Development Plan approval
31	Signage: Confirm that any proposed signage is reviewed and permitted separately from Development Plan approval.	Planning	At sign permit

Development Review Team Compiled Comments

The following table summarizes DRT review areas and how they are carried into the Staff Report and Attachment A. Attachment A is not intended to reproduce every DRT comment verbatim; the full DRT comments, response matrix, and supporting technical record should be included in Attachment C-5.

Development Review Team Compiled Comments		
Review Area	Compiled Comment / Status	Staff Report / Attachment A Treatment
Planning / Land Use	Project facts, caption, public process, review districts, conditions, signage, and no approval of future southern-area development.	Addressed in Staff Report, conditions, and technical corrections.
Water Division	Signed Water Plan; domestic service; irrigation meters; fire service; hydrants; backflow prevention; ACD; utility cover; private hydrant obligations.	Closed for SRP purposes; carried through conditions and Attachment D.
Water Resources	Alternative Development Water Budget approved; implementation and compliance obligations remain.	Approval memo to be included in packet; carried through conditions.
Fire	Fire access, hydrants, fire flow, FDC, sprinkler-related requirements, and private hydrant coordination.	Conditioned prior to building permit / ongoing.
Wastewater	Sampling port, sewer extension material, manhole connection, private sewer labeling, and crossing clearances.	Conditioned prior to recordation.
Engineering / Terrain	TMR, drainage, stormwater pond, erosion control, sediment control, dust control, and maintenance.	Conditioned prior to building permit / ongoing.
Traffic / Public Works	Access, driveway spacing, sight distance, circulation, Complete Streets, and public improvements.	Conditioned prior to building permit.
MPO / Parks / Trail	10-foot multi-use trail, trail design review, trail crossing, Galisteo Road coordination, and NMDOT coordination.	Conditioned prior to construction / recordation.
Landscape / Irrigation / Lighting	Landscape corrections, irrigation design, water harvesting, parking screening, revegetation, lighting compliance.	Conditioned prior to recordation / permit issuance.

Development Review Team Compiled Comments		
Review Area	Compiled Comment / Status	Staff Report / Attachment A Treatment
Parking / ADA	Required parking, ADA spaces, accessible routes, loading, EV charging, surface details.	Conditioned prior to building permit.
Archaeology / Review Districts	Suburban and River & Trails Archaeological Review District compliance.	Conditioned prior to ground disturbance.

**City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law**

Case # 2026-12048

1202 West Alameda Street - Development Plan

Owner's/Applicant's Name – Boyd & Alister, LLC

Agent's Name – Jenkins/Gavin, Inc.

THIS MATTER came before the Planning Commission (Commission) for public hearing on August 6, 2026 (Hearing) upon the Development Plan application (Application) of Jenkins/Gavin as Agent for Boyd & Alister, LLC (Applicant).

The Applicant requests approval of a Development Plan for the +/-1.69-acre property located at 1202 West Alameda Street (Property) pursuant to SFCC Section 14-2.1.A.3.III.b. The Property is zoned C-2 PUD (General Commercial Planned Unit Development) and is in the Rivers and Trails Archeological Review District. The Property is the site of the former Feed Bin store. The +/-1.69-acre property contains two existing buildings with associated parking areas. Adjacent land uses include the River Trail, Alto Street Park, a City fire station, a church, and the Casa Solana neighborhood. The Applicant proposes to redevelop the existing buildings into a mixed-use development while utilizing the existing names associated with the development consisting of:

- (1) Feed Bin: a woodshop with associated storage, co-working space, and three residential apartments; and
- (2) Hay Barn: a full-service restaurant.

After conducting a public hearing and having heard from staff and all interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

1. The Applicant requested rezoning of the Property to expand the permitted uses under the existing PUD in Case #2026-12047. Pursuant to SFCC 1987 Section 14-4.1.A.3.III, the Applicant must concurrently receive approval of a Development Plan when requesting a PUD rezoning. This requirement led to the present Application requesting approval of a final Development Plan for the +/-1.69-acre property at 1202 W Alameda. The Property is zoned C-2 PUD (General Commercial Planned Unit Development).
2. At the hearing, the Commission received reports from the City's Land Use Staff, testimony and evidence from the Applicant, and testimony offered by any interested members of the public.
3. SFCC 1987 Section 14-2.1 sets out certain procedures to be followed on the Application, including, without limitation: (a) an Early Neighborhood Notification (ENN) meeting [SFCC 1987 §14-2.1.B.1.II.b]; and (b) compliance with notice and public hearing requirements [SFCC 1987 § 14-2.1.B.3.V].
4. The Applicant attended a pre-application conference on December 10, 2025, with City Land Use Department Staff (City Staff).

5. The Applicant conducted an ENN meeting for this project. The Applicant gave notice of the ENN meetings to neighbors and neighborhood associations within 300 feet of the subject property and posted posters on the subject property.
6. The Applicant held the virtual ENN meeting on February 12, 2026. The ENN meeting was attended by members of the Applicant team, City Staff, and six members of the public.
7. City staff reviewed the application, as well as the related materials and information submitted by the Applicant for conformity with applicable SFCC requirements. Staff also provided the Planning Commission with a written report of its findings (Staff Report), which evaluates the factors relevant to the application.
8. Staff recommended that the Commission approve the Development Plan, subject to certain conditions (the Conditions) and the technical corrections set forth in the Staff Report and Attachments.
9. Pursuant to SFCC 1987 Section 14-2.2.D.3.I, the Commission has the authority to review Development Plans.
10. Pursuant to SFCC 1987 14-2.1.F.4.IV.c.1, when the Development Plan is required for rezonings related to a PUD, the plan is reviewed by the Commission at a public hearing and then transmitted to the Governing Body with any recommendations.
11. SFCC 1987 Section 14-2.1.F.4 establishes certain procedures for Development Plan approval including, without limitation, a public hearing by the Commission and a decision based on the criteria set out in SFCC 1987 Section 14-2.1.F.4.V.
12. SFCC 1987 Section 14-2.1.F.4.IV.b, requires the Applicant to submit plans and other documentation that demonstrates conformance with applicable provisions of the SFCC Submittal Requirements.
13. SFCC 1987 Section 14-2.1.F.4.V.b sets out approval criteria for development plans. In conjunction with these criteria, the Commission finds (a) that approving the development plan will not adversely affect the public interest; and (b) that the use and any associated buildings are compatible with and adaptable to buildings, structures and uses of the abutting property and other properties in the vicinity of the premises under consideration.
14. Pursuant to SFCC 1987 Section 14-2.1.F.4.V.c, the Commission may specify conditions of approval that are necessary to accomplish the proper development of the area and to implement the policies of the General Plan.
15. The Commission finds that the conditions and technical corrections set forth in the Staff Report and attachments are necessary to accomplish the proper development of the area and to implement the policies of the general plan, and thereby incorporates to these findings those conditions as Attachment A.
16. The Commission further finds, based in part on oral and written public comment, that “limiting the development to two stories” is a necessary condition to accomplish the proper development of the area and to implement the policies of the General Plan, in line with SFCC 1987 Section 14-2.1.F.4.V.c.18, and modifies Attachment A to include that condition.
17. After discussion at the public hearing, the Planning Commission voted unanimously to recommend the Governing Body approve the final Development Plan request subject to the conditions in Attachment A.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Commission CONCLUDES as follows:

1. All procedural requirements regarding the ENN meeting and notice of public hearing have been met.
2. The Commission has authority to review the final Development Plan and make recommendations to the Governing Body.
3. The Applicant met the applicable Submittal Requirements.
4. The Commission finds that the Development Plan meets the necessary approval criteria, subject to the conditions and technical corrections in Attachment A, as modified by the Planning Commission.
5. The Governing Body has implemented the General Plan and ordinances to establish minimum standards for health, safety and welfare affecting land uses and developments as a means to protect the public interest.
6. This project serves the public interest through revitalizing a vacant property, providing services, housing, and employment.
7. The Commission finds that the adaptive reuse of the property is compatible with the diverse nature of the surrounding neighborhood.

WHEREFORE, IT IS ORDERED ON THE 6th DAY OF AUGUST 2026, BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

Considering the foregoing findings and conclusions, the Commission recommends the Governing Body approve the development plan for the Property, as requested in the application for Case # 2026-12048, subject to the Conditions in Attachment A, as modified by the Commission. The Development Plan shall expire three years after issuance of this final action unless actual development of the site or off-site improvements has begun and is continued pursuant to SFCC 1987 Subsection 14-2.1.F.4.V.h.3.

Janet Clow, Chair

Date

FILED:

Geralyn F. Cardenas
City Clerk

Date

Case # 2026-12048

1202 West Alameda Street – Feed Bin Development Plan

APPROVED AS TO FORM:

Natalie Cauley
Assistant City Attorney

Date

City of Santa Fe, New Mexico

Attachment A-1

REVISED August 6, 2026

Table of Conditions of Approval and Technical Corrections

A-1: Table of Conditions of Approval

A-2: Table of Technical Corrections

A-3: Development Review Team Compiled Comments

- Land Use
- Fire Protection
- Parks & Open Space
- Water Division
- Water Resources
- Wastewater Division
- Environmental Services

Attachment A-1

TABLE OF CONDITIONS OF APPROVAL		Department	To be completed by:
A.	Case #2026-12047: The Planning Commission recommended "to the Governing Body that they approve the rezone request subject to the Conditions of Approval and Technical Corrections as outlined in the Staff Report with the additional condition that the Applicant be limited to two stories."	Planning Commission	Prior to Recordation
B.	Case #2026-12048: The Planning Commission recommended "the Governing Body approve the Development Plan subject to the Conditions of Approval and Technical Corrections outlined in the Staff Report with the added condition of limiting the development to two stories."	Planning Commission	Prior to Recordation
1	Approval of the final Development Plan (Case #2026-12048) by the Planning Commission shall be considered preliminary until the Governing Body approves the new PUD proposed in Case #2026-12047.	Land Use	Prior to Governing Body
2	Provide a copy of the meeting notes from the ENN	Land Use	Prior to Planning Commission Hearing
3	Provide explanations on how each architectural point criterion is met by this project	Land Use	Prior to Planning Commission Hearing
4	New lot must be addressed	Land Use	Prior to Lot Split Recordation
5	Architectural elevations should be in color with stucco color identified for digital DRT review.	Land Use	Prior to Recordation
6	Architectural elevations should be in black and white (line work) for recording.	Land Use	Prior to Recordation
7	Condition to Case #2027-12047: In alignment with the purpose of SFCC Section 14-7.5.G, "EV Charging Space Requirements," staff requires the following EV charging spaces on any new development of the premise of this site established via the PUD. New developments that require 25 or more parking spaces must provide a minimum of 10% EV-capable parking spaces and 3% EV-installed spaces, in alignment with the "Retail and Personal Service" line of SFCC Table 7-6.	Land Use	Prior to Planning Commission Hearing

8	Shall comply with the most currently adopted International Fire Code (IFC) and adopted city ordinances upon building permit approval.	Fire	Prior to Building Permit
9	DP-100: Notarized Stormwater Agreement should include inspection and maintenance language also.	Public Works / Parks & Open Space	Prior to Planning Commission Hearing
10	Ponds drain parking lot runoff directly to river without pretreatment. This will require a stormwater quality volume calculation to determine volume of water that must be managed onsite, regardless of predevelopment hydrology controls. See volume calculation.	Public Works / Parks & Open Space	Prior to Planning Commission Hearing
11	Culverts to river require outfall protection and energy dissipation to avoid erosion.	Public Works / Parks & Open Space	Prior to Planning Commission Hearing
12	Dumpster/Grease Traps/Recycling: these facilities are at back of property along river; developers should make sure this has a lip and fencing so that any liquids or floatables are contained to this area and do not trespass to river corridor.	Public Works / Parks & Open Space	Prior to Planning Commission Hearing
13	Developers should refer to City's preferred tree and plant list as this is near the SF River; developers should avoid aggressive/invasive ornamentals that may establish within river corridor.	Public Works / Parks & Open Space	Prior to Planning Commission Hearing
14	An approved Agreement to Construct and Dedicate (ACD) will be required for new fire and domestic water services	Water Division	Prior to Public Hearing
15	An approved Water Plan will be required for all new public water infrastructure and fire services.	Water Division	Prior to Public Hearing
16	A separate irrigation meter will be required if the total landscaped area is 1,000 square feet or greater. An approved backflow prevention device shall also be installed beyond the meter on any new irrigation service	Water Division	At the time of Development
17	Any re-grading of site over existing water mains shall maintain a minimum of 4 feet of cover and not exceed 5 feet of cover. Depth of existing main to be adjusted to maintain a minimum of 4 feet of cover and not exceed 5 feet of cover if site grading impacts these depth requirements.	Water Division	At the time of Development
18	An approved Development Water Budget including a 9.8% contingency per SFCC 14-8.13(E)(1) will be required. A technical evaluation request for a Development Water Budget needs to be submitted to the City Water Division for review.	Water Resources	Prior to Planning Commission Hearing

19	An Agreement to Construct and Dedicate (ACD) from the Water Division will be required for all new public water infrastructure or fire services. An approved Development Water Budget, including Landscape Irrigation Budget and a 9.8% Contingency is required prior to processing the ACD.	Water Resources	Prior to Building Permit
20	Each lot shall be served by separate water service at the time of development.	Water Resources	Prior to Building Permit
21	An agreement for metered service (AMS) will be required to install new services, including water offset fees	Water Resources	Prior to Building Permit
22	If a sewer service connection is proposed at Lot 1-A-2, a utility easement shall be granted in favor of Lot 1-A-1 to allow for proper access and maintenance.	Wastewater	Prior to Planning Commission Hearing
23	If the sewer service is intended to be shared between properties, a recorded Shared Sewer Agreement shall be filed with the County and a copy provided to the Wastewater Management Division for recordkeeping.	Wastewater	Prior to Building Permit Approval
24	Please confirm whether all feasible options for connecting to the public sewer have been fully evaluated. Additionally, identify where the existing structure on Lot 1-A-1 was previously connected to the sewer system.	Wastewater	Prior to Building Permit Approval
25	Existing trash enclosure was not built to code. Applicant shall redesign to bring the enclosure up to code, including openings be 12 ft wide when open. (SFCC 21-4.6, Exhibit A.1 or A.2)	Environmental Services	Prior to Planning Commission Hearing
26	All development plan, infrastructure, and architectural plan sheets shall be updated to show EV charging spaces	Land Use	Prior to Recordation

**City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law**

Case # 2026-12047

1202 West Amadea Street – Rezone

Owner's/Applicant's Name – Boyd & Allister, LLC

Agent's Name – Jenkins/Gavin, Inc

THIS MATTER came before the Planning Commission (Commission) for public hearing on August 6, 2026 (Hearing) upon the Rezone application (Application) of Jenkins/Gavin, Inc as Agent for Boyd & Allister, LLC (Applicant).

The Applicant requests approval to rezone the approximately 1.69-acre property located at 1202 West Alameda Street (the “Property”) from C-2 PUD (General Commercial Planned Unit Development), with an existing permitted use limited to a “feed bin store”, to C-2 PUD (General Commercial Planned Unit Development) with expanded permitted uses to include: residential; retail; food and beverages; office; woodshop (light assembly and manufacturing); storage; and arts and crafts studio, gallery, or school.

After conducting a public hearing and having heard from staff and all interested persons, the Planning Commission hereby FINDS, as follows:

FINDINGS OF FACT

1. The Applicant property is approximately 1.69 acres, located at 1202 West Alameda Street.
2. The Applicant sought a rezoning from C-2 PUD, with a permitted use of “feed bin store” only, to C-2 PUD, with permitted uses of residential; retail; food and beverages; office; woodshop (light assembly and manufacturing); storage; and arts and crafts studio, gallery, or school.
3. SFCC 1987 Section 14-2.1.D.3.VII sets out approval criteria and requires the Commission to make complete findings of fact sufficient to show that these criteria have been met before recommending the Governing Body approve a rezoning.
4. SFCC 1987 Section 14-2.1 sets out certain procedures to be followed on the Application, including, without limitation, (a) a pre-application conference [SFCC 1987 §14-2.1.B.1]; (b) an Early Neighborhood Notification (“ENN”) meeting [SFCC 1987 § 14-2.1.B.1.II.b]; and (c) compliance with notice and public hearing requirements [SFCC 1987 §14-2.1.B.3.V].
5. The Applicant attended a pre-application conference on December 10, 2025.
6. The Applicant conducted an ENN meeting on February 12, 2026, virtually via Zoom. The Agent, Applicant, and City land use staff (“Staff”) attended the ENN meeting. Six members of the public attended the ENN meeting.
7. The Applicant effected notice by: mailing out notice via first-class mail to property owners within 300 feet of the subject property on January 28, 2026; mailing out notice via certified mail to those within 100 feet; e-mailing neighborhood associations within

300 feet; and posting the required City sign on the property from January 28, 2026 to February 12, 2026.

8. City staff reviewed the Application, as well as the related materials and information submitted by the Applicant for conformity with applicable SFCC requirements. Staff also provided the Planning Commission with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.
9. Staff recommended that the Commission approve the rezoning Application request.
10. SFCC 1987 Section 14-2.1.D.3.VI sets out procedures for rezoning and requires the Commission to hold a public hearing, review the Application, and make a recommendation to the Governing Body.
11. On August 6, 2026, the Planning Commission held a public hearing on the Application.
12. Prior to and during the hearing, written and spoken public comment were submitted to the Planning Commission advocating for a height restriction on the Property to enable conformity with the surrounding neighborhood.
13. Pursuant to SFCC 1987 Section 14-2.1.D.3.VII.a.1.iii, the Commission finds that the Applicant's Rezoning request would retain the existing commercial zoning of the property but expand the allowed permitted uses in a manner that is advantageous to the community, as articulated in the General Plan.
14. Pursuant to SFCC 1987 Section 14-2.1.D.3.VII.a.2, the Commission finds that all the rezoning requirements of Chapter 14 have been met.
15. Pursuant to SFCC 1987 Section 14-2.1.D.3.VII.a.3, the Commission finds that the Rezoning is consistent with applicable policies of the General Plan, including the future land use map's designation for the area as Public/Institutional.
16. Pursuant to SFCC 1987 Section 14-2.1.D.3.VII.a.4, the Commission finds the Rezoning and proposed uses are consistent with City policies regarding the provision of urban land sufficient to meet the amount, rate, and geographic location of the growth of the City.
17. Pursuant to SFCC 1987 Section 14-2.1.D.3.VII.a.5, the Commission finds that the existing and proposed infrastructure, such as the streets system, sewer and water lines, and public facilities, such as fire stations and parks, will be able to accommodate the impacts of the expanded PUD zoning request.
18. Although such findings are not necessary because the proposed change is consistent with applicable General Plan policies, the Commission also finds, pursuant to SFCC 1987 Section 14-2.1.D.3.VII.b:
 - a. The prevailing use and character of the area is primarily mixed-use and includes a variety of civic, recreational, commercial, and residential uses. The expansion of the PUD permitted uses is therefore compatible with the area.
 - b. The property is less than two acres in size, however, the underlying zoning of C-2 will not be affected. Only the uses under the PUD will be expanded.
 - c. The increase in the PUD allowable uses will benefit the surrounding landowners and general public of the neighborhood community, as evidenced by the public comment provided at the hearing.
19. The Commission finds that the conditions and technical corrections set forth in the Staff Report and attachments are necessary to accomplish the proper development of the area and to implement the policies of the general plan, and thereby incorporates to these findings those conditions as Attachment A.
20. The Commission further finds, pursuant to SFCC 1987 Section 14-2.1.B.4.V.d.2, based

in part on oral and written public comment, that “limiting the development to two stories” is a necessary condition to accomplish the proper development of the area and to implement the policies of the General Plan, and modifies Attachment A to include that condition.

21. Based on these findings, the Planning Commission voted unanimously in favor of the motion to recommend the Governing Body approve the Rezoning request, subject to the conditions and technical corrections in Attachment A.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Commission CONCLUDES as follows:

1. The Applicant has the right under the SFCC to propose the rezoning of the Property.
2. All procedural requirements regarding the pre-application conference, ENN meeting, and notice of public hearing have been met.
3. The Applicant met the applicable Submittal Requirements.
4. The Commission has the authority to review and recommend the Governing Body approve or deny the rezoning request.
5. The Commission finds that the conditions in Attachment A, as modified by the Commission, are necessary to fulfill all rezoning approval criteria.
6. The Commission finds that the Application to rezone the Property from C-2 PUD, with a permitted use of feed bin store only, to C-2 PUD, with permitted uses of residential; retail; food and beverages; office; woodshop (light assembly and manufacturing); storage; and arts and crafts studio, gallery, or school, fulfills all rezoning approval criteria, including alignment with General Plan theme and policies, subject to the conditions specified.

WHEREFORE, IT IS ORDERED ON THE 6th DAY OF AUGUST, 2026, BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

Considering the foregoing findings and conclusions, the Commission recommends the Governing Body approve the rezone request for the Property, as described in the Application for Case #2026 – 12047, subject to the conditions in Attachment A, as modified by the Commission.

Janet Clow, Chair

Date

FILED:

Geralyn F. Cardenas
City Clerk

Date

Case # 2026-12047

1202 West Alameda Street – Feed Bin Rezone

APPROVED AS TO FORM:

Natalie Cauley
Assistant City Attorney

Date

City of Santa Fe, New Mexico

Attachment A-1

REVISED August 6, 2026

Table of Conditions of Approval and Technical Corrections

A-1: Table of Conditions of Approval

A-2: Table of Technical Corrections

A-3: Development Review Team Compiled Comments

- **Land Use**
- **Fire Protection**
- **Parks & Open Space**
- **Water Division**
- **Water Resources**
- **Wastewater Division**
- **Environmental Services**

Attachment A-1

TABLE OF CONDITIONS OF APPROVAL		Department	To be completed by:
A.	Case #2026-12047: The Planning Commission recommended "to the Governing Body that they approve the rezone request subject to the Conditions of Approval and Technical Corrections as outlined in the Staff Report with the additional condition that the Applicant be limited to two stories."	Planning Commission	Prior to Recordation
B.	Case #2026-12048: The Planning Commission recommended "the Governing Body approve the Development Plan subject to the Conditions of Approval and Technical Corrections outlined in the Staff Report with the added condition of limiting the development to two stories."	Planning Commission	Prior to Recordation
1	Approval of the final Development Plan (Case #2026-12048) by the Planning Commission shall be considered preliminary until the Governing Body approves the new PUD proposed in Case #2026-12047.	Land Use	Prior to Governing Body
2	Provide a copy of the meeting notes from the ENN	Land Use	Prior to Planning Commission Hearing
3	Provide explanations on how each architectural point criterion is met by this project	Land Use	Prior to Planning Commission Hearing
4	New lot must be addressed	Land Use	Prior to Lot Split Recordation
5	Architectural elevations should be in color with stucco color identified for digital DRT review.	Land Use	Prior to Recordation
6	Architectural elevations should be in black and white (line work) for recording.	Land Use	Prior to Recordation
7	Condition to Case #2027-12047: In alignment with the purpose of SFCC Section 14-7.5.G, "EV Charging Space Requirements," staff requires the following EV charging spaces on any new development of the premise of this site established via the PUD. New developments that require 25 or more parking spaces must provide a minimum of 10% EV-capable parking spaces and 3% EV-installed spaces, in alignment with the "Retail and Personal Service" line of SFCC Table 7-6.	Land Use	Prior to Planning Commission Hearing

8	Shall comply with the most currently adopted International Fire Code (IFC) and adopted city ordinances upon building permit approval.	Fire	Prior to Building Permit
9	DP-100: Notarized Stormwater Agreement should include inspection and maintenance language also.	Public Works / Parks & Open Space	Prior to Planning Commission Hearing
10	Ponds drain parking lot runoff directly to river without pretreatment. This will require a stormwater quality volume calculation to determine volume of water that must be managed onsite, regardless of predevelopment hydrology controls. See volume calculation.	Public Works / Parks & Open Space	Prior to Planning Commission Hearing
11	Culverts to river require outfall protection and energy dissipation to avoid erosion.	Public Works / Parks & Open Space	Prior to Planning Commission Hearing
12	Dumpster/Grease Traps/Recycling: these facilities are at back of property along river; developers should make sure this has a lip and fencing so that any liquids or floatables are contained to this area and do not trespass to river corridor.	Public Works / Parks & Open Space	Prior to Planning Commission Hearing
13	Developers should refer to City's preferred tree and plant list as this is near the SF River; developers should avoid aggressive/invasive ornamentals that may establish within river corridor.	Public Works / Parks & Open Space	Prior to Planning Commission Hearing
14	An approved Agreement to Construct and Dedicate (ACD) will be required for new fire and domestic water services	Water Division	Prior to Public Hearing
15	An approved Water Plan will be required for all new public water infrastructure and fire services.	Water Division	Prior to Public Hearing
16	A separate irrigation meter will be required if the total landscaped area is 1,000 square feet or greater. An approved backflow prevention device shall also be installed beyond the meter on any new irrigation service	Water Division	At the time of Development
17	Any re-grading of site over existing water mains shall maintain a minimum of 4 feet of cover and not exceed 5 feet of cover. Depth of existing main to be adjusted to maintain a minimum of 4 feet of cover and not exceed 5 feet of cover if site grading impacts these depth requirements.	Water Division	At the time of Development
18	An approved Development Water Budget including a 9.8% contingency per SFCC 14-8.13(E)(1) will be required. A technical evaluation request for a Development Water Budget needs to be submitted to the City Water Division for review.	Water Resources	Prior to Planning Commission Hearing

19	An Agreement to Construct and Dedicate (ACD) from the Water Division will be required for all new public water infrastructure or fire services. An approved Development Water Budget, including Landscape Irrigation Budget and a 9.8% Contingency is required prior to processing the ACD.	Water Resources	Prior to Building Permit
20	Each lot shall be served by separate water service at the time of development.	Water Resources	Prior to Building Permit
21	An agreement for metered service (AMS) will be required to install new services, including water offset fees	Water Resources	Prior to Building Permit
22	If a sewer service connection is proposed at Lot 1-A-2, a utility easement shall be granted in favor of Lot 1-A-1 to allow for proper access and maintenance.	Wastewater	Prior to Planning Commission Hearing
23	If the sewer service is intended to be shared between properties, a recorded Shared Sewer Agreement shall be filed with the County and a copy provided to the Wastewater Management Division for recordkeeping.	Wastewater	Prior to Building Permit Approval
24	Please confirm whether all feasible options for connecting to the public sewer have been fully evaluated. Additionally, identify where the existing structure on Lot 1-A-1 was previously connected to the sewer system.	Wastewater	Prior to Building Permit Approval
25	Existing trash enclosure was not built to code. Applicant shall redesign to bring the enclosure up to code, including openings be 12 ft wide when open. (SFCC 21-4.6, Exhibit A.1 or A.2)	Environmental Services	Prior to Planning Commission Hearing
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